



# Benton County Planning Board

## Public Hearing Technical Advisory Committee Meeting

September 4, 2019

6:00 p.m.

Benton County Administration Building  
215 East Central Avenue, 3<sup>rd</sup> floor  
Bentonville, AR 72712

### **PUBLIC HEARING**

1. **Call to Order**
2. **Roll Call**
3. **Disposition of Minutes:** Minutes for August 7, 2019
4. **General Public Comment**
5. **Old Business:** None
6. **New Business:** None

### **TECHNICAL ADVISORY COMMITTEE**

1. **Call to Order**
2. **Old Business/Ongoing Applications:** None
3. **New Business:**
  - I. DuRocher Setback Variance, case no.19-188, 8585 Stoner Lane, Rogers; 15-11710-000
  - II. Terra Rose Properties, LLC Site Plan Review, case no.19-191, 11427 North Highway 59, Gravette; 18-15179-000
4. **Other Business:** None
5. **Staff Updates - Administrative Approvals:**
  - I. Moncada/Scott Minor Subdivision, case no.19-128; Coose Hollow West Road, Rogers; 18-04870-001
  - II. Kinzey Property Line Adjustment, case no.19-134; 14340 Springtown Road, Siloam Springs;18-10981-000
  - III. Hall/Bullard Property Line Adjustment, case no.19-158; 10510 Georgia Flat Road, Gravette; 18-15279-000
  - IV. McKenzie Minor Subdivision, case no.19-163, West High Meadows Drive, Rogers; 18-05212-002
  - V. Kloss Minor Subdivision, case no.19-164, 22168 US 62 Highway, Garfield; 18-00304-001
  - VI. WEN Investment Group Minor Subdivision, case no. 19-165; 19917 Hyden Road, Garfield;18-01300-000
  - VII. Poling Lot Combination, case no. 19-167; 12066 Dogwood Drive, Garfield; 15-04651-000
  - VIII. Whaley Lot Combination, case no. 19-168, 10009 Camelot Lane, Rogers; 15-16618-000
  - IX. Shubat Minor Subdivision, case no. 19-171, Peterson Road, Gentry; 18-11638-001
  - X. Ringfelt Lot Combination, case no. 19-185, 13855 Commanche Trail, Garfield; 15-03975-000
  - XI. Slater Minor Subdivision, case no. 19-179, 16670 Butler Road, Siloam Springs; 18-10441-005
6. **Discussion Items:** None

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**Benton County Planning Board**

Ashley Tucker, Chair  
Stephen Torrez, Vice Chair  
Ron Homeyer, Member  
Bob Bracy, Member  
Rick Williams, Member  
Terry Maienschein, Member  
Sean Collyge, Member



**Benton County Planning Department**

1204 SW 14<sup>th</sup> Street, Ste. 6  
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Fax: (479) 464-6170  
E-mail: [taylor.reamer@bentoncountyar.gov](mailto:taylor.reamer@bentoncountyar.gov)

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**VARIANCE REVIEW  
PLANNER'S TECHNICAL ADVISORY COMMITTEE REPORT  
DuRocher Setback Variance  
8585 Stoner Lane, Rogers**

**EXECUTIVE SUMMARY**

The property owner proposes to construct an attached garage to the existing dwelling (8585 Stoner Lane). The addition's location is proposed within the County required 10-ft. side yard building setback on the southern property line. The property owner is requesting a setback variance from the 10-ft. setback requirement as follows: The proposed garage addition to the existing dwelling to be located 5-ft. from side southern property line in lieu of the required 10-ft.

**PROJECT INFORMATION**

**Owner:** Connie DuRocher

**Address of subject property (as assigned):** 8585 Stoner Lane, Rogers

**Parcel IDs:** 15-11710-000

**Parcel Area:** 0.67 +/- acres

**Current Land Use(s):** Low/Medium Density Residential (Single Family Residential)

**Proposed Land Use(s):** Low/Medium Density Residential (Single Family Residential – Building Setback Variance)

**Attachments:** The following drawings and documents are attached:

1. Vicinity Graphic
2. Context Map
3. Site Aerial
4. Applicant's Site Plans and Justification Statement

**PLANNING ANALYSIS**

**Description of Property and Surrounding Area:**

The subject property consists of a 0.6-acre parcel located on the west side of Stoner Lane, located east of the city of Rogers. The subject property is within Dream Valley Number 11 Subdivision in the Prairie Creek Property Owners Association. Primary vehicular access is proposed via an existing drive from the public right of way (Stoner Lane). The property is not located within the FEMA 100-yr. floodplain, but is within County designated Urbanized MS4 Stormwater area. The immediately surrounding land uses are as follows:

- North: Single Family Residential
- East: Single Family Residential
- South: Single Family Residential
- West: Single Family Residential

**Background information:**

The applicant submitted a Variance application and accompanying information meeting Staff's requirements. On August 27<sup>th</sup>, 2019, an inter-departmental review form was sent to the following agencies: Planning Department, Health Dept., Road Dept., Building Dept., Fire Marshal, Assessor's GIS Mapping Manager, and Benton County E-911 Administration.

The project is scheduled to appear before the Planning Board for Technical Advisory Committee on September 4<sup>th</sup>, 2019.

## **TECHNICAL REVIEW OF SITE PLAN**

### **Parcel Information:**

Site inspection and research against State assessment records show the property as containing one residentially assessed improvement.

### **Noticing Requirements:**

**On September 4<sup>th</sup>, 2019, the applicant shall submit USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the September 18<sup>th</sup> Public Hearing.**

**On September 4<sup>th</sup>, 2019, the applicant shall submit the required photographs verifying that the required public hearing notice signage along the property's frontage has been conspicuously posted on site.**

### **Standard Building Setbacks:**

Required: Fifty (50) feet measured from the center line of the fronting road (Stone Lane) or twenty-five (25) feet from the fronting property lines, whichever is greater is required; A side and rear yard, building to property line setback of ten (10) feet is required.

Comments: The submitted site plans detail the existing property lines and required setbacks, and the proposed residential addition encroaching 5-ft. into the 10-ft. side yard setback requirement.

### **Access Driveways/Internal Circulation:**

Required: The design and construction shall be in accordance with the standards as presented in the Benton County Road Plan.

Comment: The site fronts along a County maintained roadway. The applicant proposes to utilize an existing access drive from the public right-of-way, Stoner Lane. The property owner shall obtain proper permitting for any activity or additional access drives connecting to the County right of way.

### **Site Services - Drainage/ Stormwater Management Plan:**

Required: Applicant is required to indicate on plan storm drainage infrastructure and to provide an off-site drainage study. If study indicates an increase in peak flow discharge downstream, the developer shall construct a detention facility or an alternative LID methodology that shall control the peak runoff rate. The County also recommends minimizing impervious surface to limit the need for such facilities.

Comment: The subject property is located in an MS4 stormwater area. The property owner shall provide grading and erosion control plans detailing the following:

1. Improvement plans for the proposed addition
2. Grading/excavation plans for the addition
3. BMP plan for stormwater management, good housekeeping, and post construction stabilization

**Prior to building permit, the property owner and/or cognizant official overseeing the job site shall complete the grading and erosion control permitting process.**

### **Site Services – Septic System:**

Required: Regardless of development size, a state-approved septic disposal method is required of all commercial and industrial developments. All disposal system criteria must meet or exceed septic requirements as established by the Arkansas Department of Health (ADH) in accordance with Act 402 of 1977 as amended.

Comment: The existing dwelling is serviced by an individual septic system permitted by the Arkansas Department of Health in 2002. The system is located to the rear of the lot behind the existing and proposed improvements.

**OUTSTANDING ITEMS:**

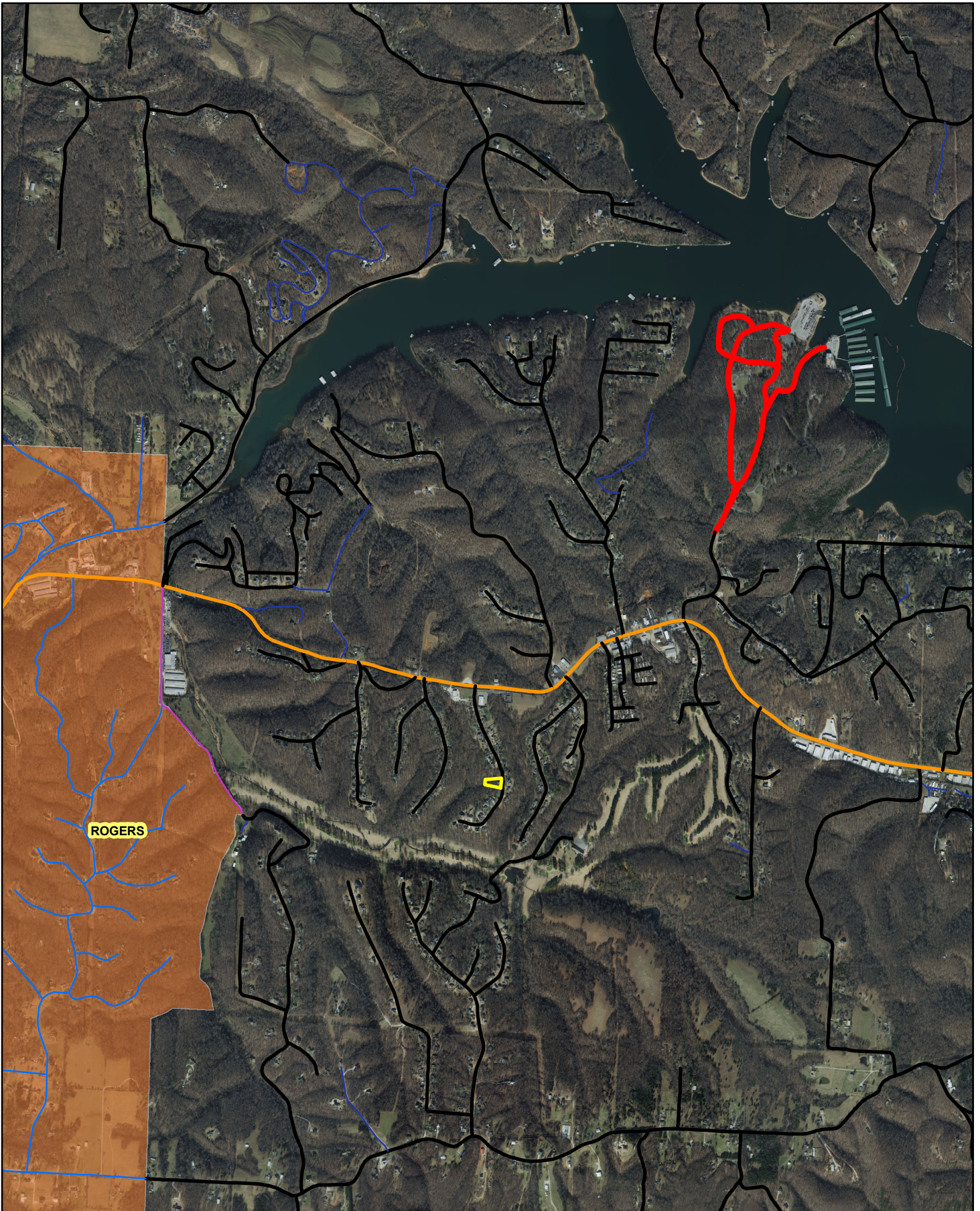
1. Property owner to provide site plan and/or documentation of all utilities located with the southern 10-ft. side yard building setback and utility easement.
2. On September 4<sup>th</sup>, 2019, the applicant shall submit USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the September 18<sup>th</sup> Public Hearing.
3. On September 4<sup>th</sup>, 2019, the applicant shall submit the required photographs verifying that the required public hearing notice signage along the property's frontage has been conspicuously posted on site.
4. Stormwater Management:
  - a. The property owner shall provide site plans detailing the following:
    - i. Improvement plans for the proposed addition
    - ii. Grading/excavation plans for the addition
    - iii. BMP plan for stormwater management, good housekeeping, and post construction stabilization
  - b. Prior to building permit, the property owner and/or cognizant official overseeing the job site shall complete the stormwater permitting process.

**Prepared by:** Taylor Reamer – Planning Director

**Reviewed by:** Tracy Backs – County Planner

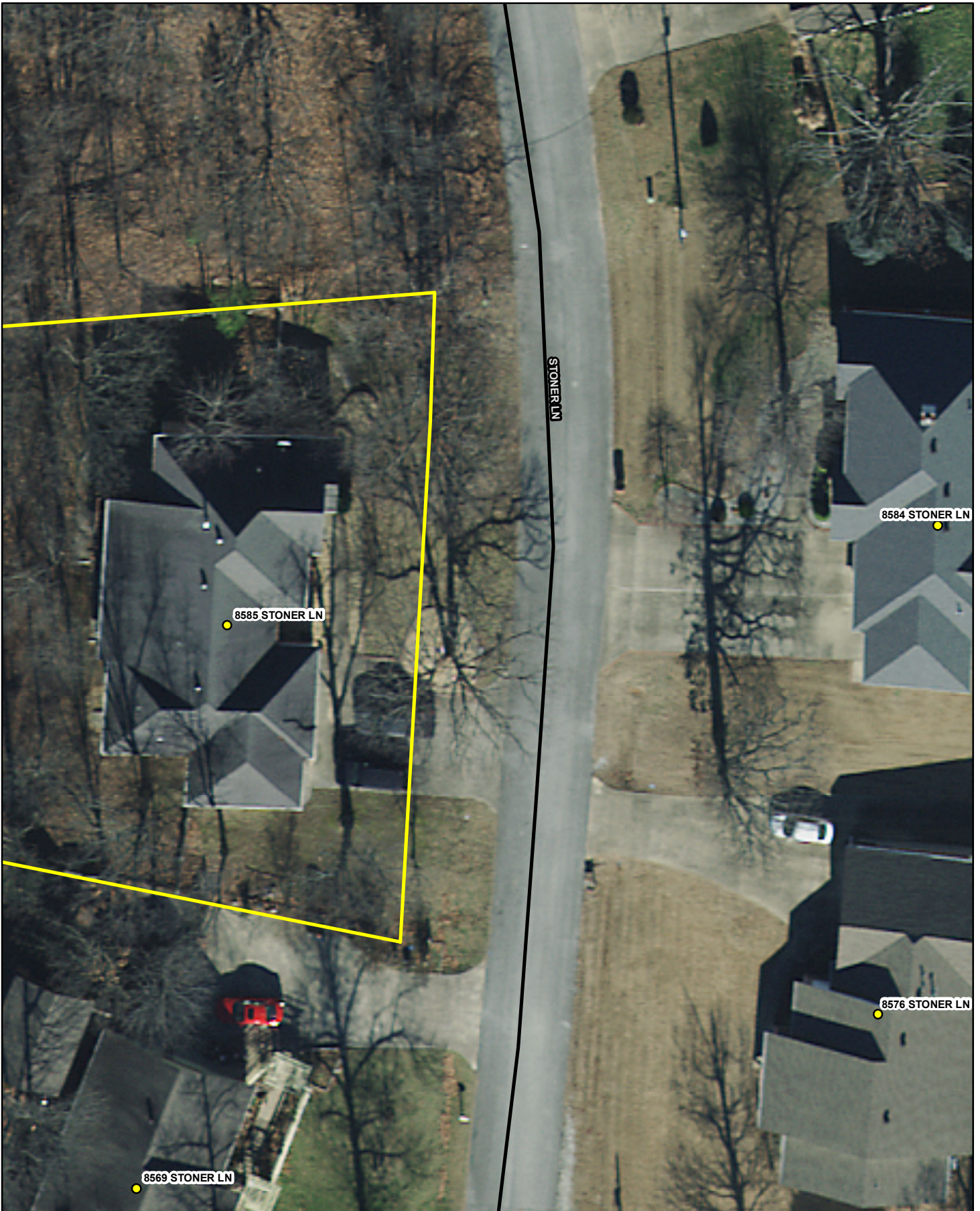


DuRocher Vicinity Map  
8585 Stoner Lane, Rogers





DuRocher Vicinity Map  
8585 Stoner Lane, Rogers





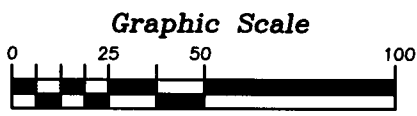
DuRocher Site Graphic  
8585 Stoner Lane, Rogers





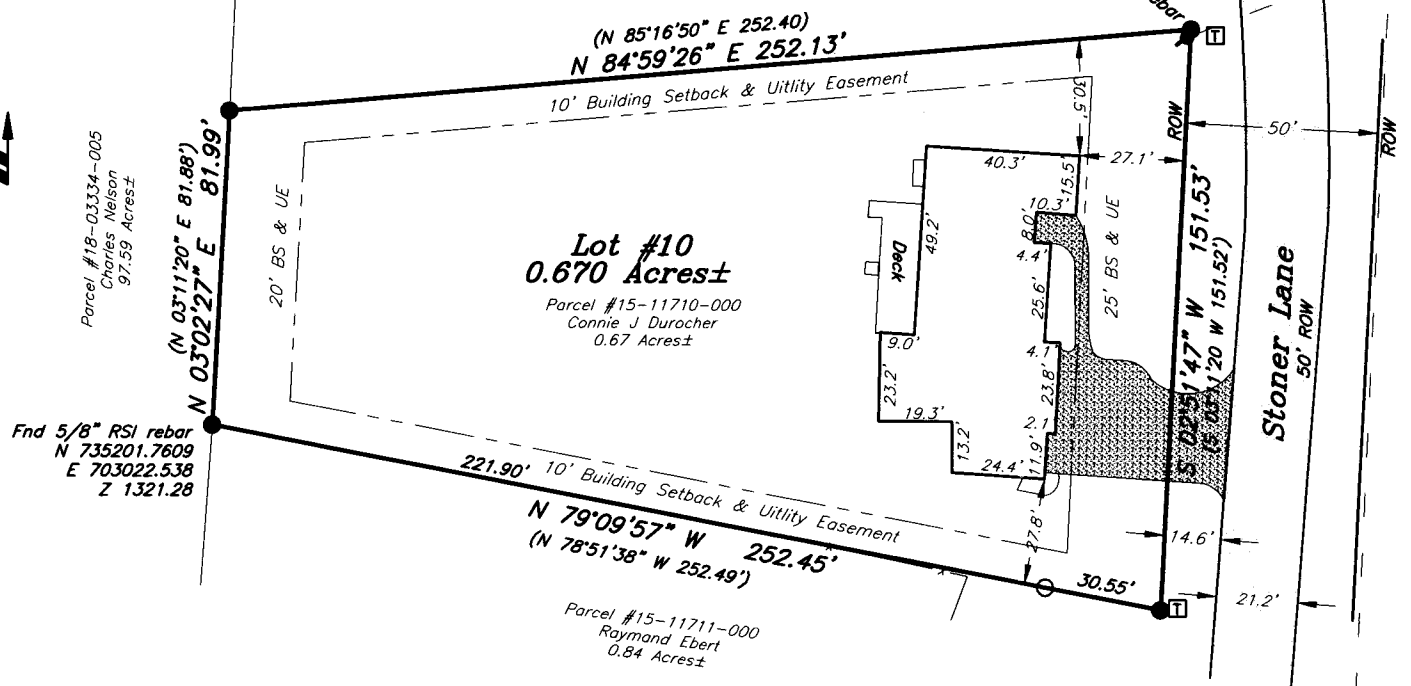
Copyright © Ramsey Surveying, Inc. All rights reserved. No part of this drawing may be reproduced by any means without prior written permission from Ramsey Surveying, Inc.

**Existing site conditions + improvements**



**LEGEND**

- Found 5/8" Rebar
- Set 5/8" Rebar
- ⊙ MAG Nail
- ⊠ Gas Meter
- ⊠ Telephone Pedestal
- ⊠ Power Pole
- ⊠ Electric Box
- ⊠ Water Meter
- Property Boundary
- - - Fence
- - - Utility Easement and Building Setback
- - - Overhead Electric



**Survey Description**

All of Lot 10 of Dream Valley No. 11 in Benton County, Arkansas as recorded in Plat Record 18-11 in the Circuit Clerk's Office in Bentonville.

**Surveyor's Certification**


To Jeff DuRocher: This is to certify that an accurate survey was made of the hereon-described property and that this plat is the results of that survey. The land was surveyed under the supervision of Jim Ramsey, PS #1227, with a plat of said survey filed in the Benton County Circuit Clerk's office in Bentonville, Arkansas.  
**FLOOD CERTIFICATION:** According to this survey, no part of the above described land appears to lay in a known flood area, according to FIRM Community Panel number 05007C0280 K, effective date, June 5 2012. The property surveyed is located in Zone X. A search for recently completed LOMAs effecting the location of the flood zone has not been completed at this time. This survey was completed on June 26, 2019. This plat was completed on July 1, 2019.

**Surveyor's Notes:**

1. In providing this survey, no attempt has been made to show data concerning location, size, depth, condition or capacity of underground utilities existing on site. Only visible utilities have been located on this survey.
2. No abstract of title, nor title commitment, or results of a title search were furnished to the surveyor. All documents of record reviewed are noted hereon. There may exist other documents of record that affect this surveyed parcel.
3. Ramsey Surveying, Inc. has made no additional investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
4. Basis of bearings is Grid North according to the Arkansas Coordinate System, North Zone, derived from GPS RTK method. Record bearings in parentheses are according to Plat Record 18-11.
5. This plat represents a survey of Parcel #15-11710-000.
6. The purpose of this survey is to mark the property corners and to show visible improvements.
7. Horizontal coordinates shown on this survey were established by GPS RTK method and are based on NAD 83 datum, City of Bentonville Reference Station. Elevations shown on this survey were established by GPS RTK method and are based on NAVD 88 datum, City of Bentonville Reference Station. This survey used a combined scale factor of 0.999961783 with a convergence angle of -1'12.12.17677" calculated at N 735342 E 703223 Z 1349.

User Name: LARA  
 CERTIFICATE OF RECORD  
 STATE OF ARKANSAS, COUNTY OF BENTON  
 I hereby certify that this instrument was  
 Filed and Recorded in the Official Records  
 L201940876 8/8/2019 11:03:35 AM  
 Brenda DeShields, Circuit Clerk  
 BENTON CO, AR FEE \$15.00

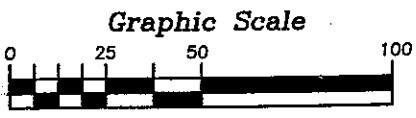
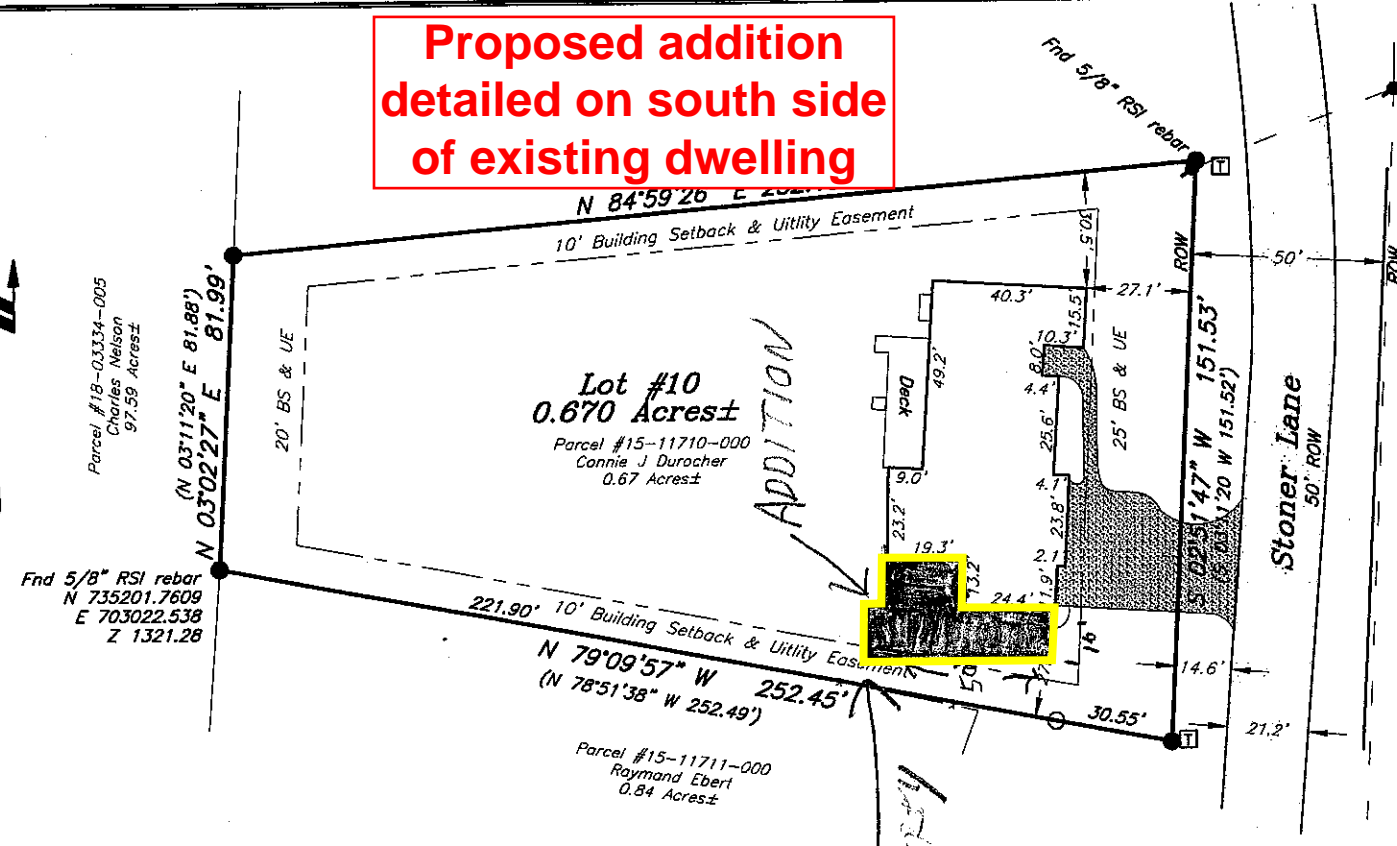


 <b>RAMSEY SURVEYING, INC.</b> 1729 West Poplar Street Rogers, Ar. 72758 www.ramseysurveying.com			
		Job: Lot Survey For Jeff DuRocher	
Scale 1"=50'		Drawn By: SWP	
Date: 7/01/19		Rev:	
Location: Lot 10 Dream Valley No. 11			
Jim F. Ramsey PS #1227 479-631-6663		Job Number: 19128	

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**Proposed addition  
detailed on south side  
of existing dwelling**



**LEGEND**

- Found 5/8" Rebar
- Set 5/8" Rebar
- ⊙ MAG Nail
- ⊞ Gas Meter
- ⊞ Telephone Pedestal
- ⊞ Power Pole
- ⊞ Electric Box
- ⊞ Water Meter
- Property Boundary
- - - Fence
- - - Utility Easement and Building Setback
- - - Overhead Electric

**Survey Description**

All of Lot 10 of Dream Valley No. 11 in Benton County, Arkansas as recorded in Plat Record 18-11 in the Circuit Clerk's Office in Bentonville.

**Surveyor's Certification**

To Jeff DuRocher: This is to certify that an accurate survey was made of the hereon-described property and that this plat is the results of that survey. The land was surveyed under the supervision of Jim Ramsey, PS #1227, with a plat of said survey filed in the Benton County Circuit Clerk's office in Bentonville, Arkansas.

**FLOOD CERTIFICATION:** According to this survey, no part of the above described land appears to lay in a known flood area, according to FIRM Community Panel number 05007C0280 K, effective date, June 5 2012. The property surveyed is located in Zone X. A search for recently completed LOMAs effecting the location of the flood zone has not been completed at this time. This survey was completed on June 26, 2019. This plat was completed on July 1, 2019.

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1729 West Poplar Street  
Rogers, Ar. 72758  
www.ramseysurveying.com

Job: Lot Survey For Jeff DuRocher		Drawn By: SWP
Scale 1"=50'	Date: 7/01/19	Rev:
Location: Lot 10 Dream Valley No. 11		
Jim F. Ramsey PS #1227 479-631-8663	Job Number: 19128	



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**SITE PLAN REVIEW**  
**PLANNER'S TECHNICAL ADVISORY COMMITTEE REPORT**  
**Terra Rose Properties LLC Warehouse Site Plan Review**  
**11427 N AR Hwy 59, Gravette AR 72736**

**EXECUTIVE SUMMARY**

The applicant's proposal details developing the commercially improved property with one (1) additional commercial structure totaling 22,966-sq. ft.

The 2.7-acre tract is currently improved with on 34,393-sq.ft. warehouse, two concrete access drives from Highway 59, and concrete drive aisles. The current warehouse facility is serviced by private well and individual septic. As part of the current proposal, the existing septic system will require abandonment and a new system will be designed and installed.

**PROJECT INFORMATION**

**Owner:** Terra Rose Properties LLC – Matt Isabell

**Consultant:** Gray Rock LLC

**Address of subject property (as assigned):** 11427 N AR Hwy 59, Gravette

**Parcel IDs:** 18-15179-000

**Parcel Area:** 2.72 +/- acres

**Current Land Use(s):** Existing Regional Commercial Warehouse Facility (34,393-sq. ft.)

**Proposed Land Use(s):** Regional Commercial – Warehouse (Total Warehouse: 57,359-sq. ft.)

**Attachments:** The following drawings and documents are attached:

1. Vicinity Graphic
2. Context Map
3. Site Aerial
4. Civil Set from Applicant

**PLANNING ANALYSIS**

**Description of Property and Surrounding Area:**

The subject property consists of a 2.7-acre parcel located on the west side of AR Highway 59, approximately 1.3-miles south of Gravette city limits. Primary vehicular access is proposed via two existing concrete aprons on AR Hwy 59. The property is not located within the FEMA 100-yr. floodplain or County designated Urbanized MS4 area. The immediately surrounding land uses are as follows:

- North: Single Family Residential / Agricultural
- East: Single Family Residential / Agricultural
- South: Single Family Residential / Agricultural
- West: Single Family Residential / Agricultural

**Background information:**

The applicant submitted a Site Plan Review application and accompanying information meeting Staff's requirements. On August 28<sup>th</sup>, 2019, an inter-departmental review form was sent to the following agencies: Planning Department, Health Dept., Road Dept., Building Dept., Fire Marshal, Assessor's GIS Mapping Manager, AR DoT, and Benton County E-911 Administration.



**TECHNICAL REVIEW OF SITE PLAN**

**Parcel Information:**

Site inspection and research against State assessment records show the property as contain one commercially assessed improvement.

**Noticing Requirements:**

**On or before September 4<sup>th</sup>, 2019, the applicant shall submit USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the September 18<sup>th</sup> Public Hearing.**

**On or before September 4<sup>th</sup>, 2019, the applicant shall submit the required photographs verifying that the required public hearing notice signage along the property’s frontage has been conspicuously posted on site.**

**Standard Building Setbacks:**

Required: Sixty-five (65) feet measured from the center line of the fronting road (AR Hwy 59) or twenty-five (25) feet from the fronting property lines, whichever is greater is required; A side and rear yard, building to property line setback of ten (10) feet is required.

Comments: **Site plans shall graphically detail the County required setbacks.**

**Parking Requirements:**

‘Storage/Warehouse Use’:

Required: 1 space per company owned vehicle + 1 space per on site employee or 1 space per 2,000-sq. ft., whichever is greater and adequate designated loading areas

Calculation: TBD

**Required: TBD spaces**

**Total Parking Required: TBD parking spaces, inclusive of ADA compliant spaces.**

**The site plans shall contain a Parking Table detailing County parking requirements and provided parking.**

**The applicant shall show all required parking in accordance with County ordinance.**

**Site Features - Loading area:**

**The site plans shall graphically designate areas of loading/unloading with a minimum reserve area of 10-ft. by 25-ft.**

**Site Features – Lighting:**

**The Site Plan shall provide a note that all outdoor lights will be ‘full cut-off lighting in accordance with IESNA standards. The locations of outdoor lighting fixtures shall be noted on the plans.**

**Parking / Landscape Buffer:**

Required: Adjoining incompatible uses should be screened with landscaping, walls, berms, or similar treatments. Section 4.6.16.c states that all required vegetative screening must have a minimum height of five (5) feet. All trees should be wire basket, B & B, or container grown. Smaller flowering trees and ornamentals will be centered at four (4’) feet maximum. Coniferous trees will be centered at four (4’) feet to five (5’) feet depending on desired effect. All shrubs are to be planted in continuous planting beds. Planting beds will be mulched to a minimum depth of three (3”) inches and will be maintained weed free. Plantings consisting of

trees and shrubs will be a minimum of 50% coniferous plantings. All required setbacks are required to be maintained as landscaped open space, per §4.6(16).

Comment: Land Use Compatibility analysis, per sec. 6.7, shows that the proposed use is classified as 'Regional Commercial', and is immediately adjacent to Residential + Agricultural uses. This places the proposed use as being Questionably Compatible – 'Major' with adjacent properties—and as such, will require some level of mitigation efforts in order to buffer the proposed commercial/industrial use. Specifically, table 6.6 (Compatibility Levels and Criteria) indicates 15 - 20 ft. of additional setback, buffering up to 40 ft. in depth, and may require wall/fence and 2-3 tier plantings.

The current site plan details a series of proposed redbud trees and maple trees located to the north of the proposed structure.

**Access Driveways/Internal Circulation:**

Required: The design and construction shall be in accordance with the standards as presented in the Benton County Road Plan.

Comment: The site fronts along a State maintained roadway. The applicant proposes to utilize existing access drives from the public right-of-way. **The property owner shall receive AR DoT approval for any activity or driveway connection within the State's right of way.**

**Additionally, the applicant shall graphically show adequate truck/vehicle traffic circulation and adequate areas for truck loading/unloading in order to prevent on site activity from effecting the public roadway.**

**Site Services - Drainage/ Stormwater Management Plan:**

Required: Applicant is required to indicate on plan storm drainage infrastructure and to provide an off-site drainage study. If study indicates an increase in peak flow discharge downstream, the developer shall construct a detention facility or an alternative LID methodology that shall control the peak runoff rate. The County also recommends minimizing impervious surface to limit the need for such facilities.

Comment: The subject property is not located in an MS4 area. **The project engineer shall provide a drainage report for the proposal detailing no net increase of post development runoff during a 10-year event.**

**The project engineer shall comply with ADEQ's Stormwater Pollution Prevention Plan (SWPPP) for onsite stormwater management during construction and post-construction stabilization BMPs.**

**Site Services - Solid Waste Disposal:**

The current site plans note an on-site dumpster. **The site plans shall include a 'Detail' for the dumpster enclosure, additionally the property owner shall submit written verification of service to the site.**

**Site Services - Electrical Power Supply:**

**The applicant shall provide written confirmation from service provider.**

**Site Services – Septic System:**

Required: Regardless of development size, a state-approved septic disposal method is required of all commercial and industrial developments. All disposal system criteria must meet or exceed septic requirements as established by the Arkansas Department of Health (ADH) in accordance with Act 402 of 1977 as amended.



**Comment:** The current project proposal outlines the use of an individual septic system. **The property owner shall provide a copy of ADH’s approved septic system permit prior to building permit.**

**Site Services - Water Service:**

**The applicant shall provide written confirmation from service provider.**

**Site Services - Fire & EMS:**

The Benton County Emergency 911 Administration verified the address associated with the property.

Staff received from the Benton County Fire Marshal:

1. This building will be required to have an automatic sprinkler system under the 2012 Arkansas Fire Code chapter 9 section 901, Fire Protection Systems.
2. This building will require a fire alarm system under the Arkansas Fire Code, Chapter 9, section 907.
3. The new building will require exit signs and lights along with fire extinguisher under the Arkansas Fire Code.
4. The new building will have to meet all other applicable Arkansas Fire Code requirements.

This building will be subject to an annual fire inspection as will the existing building. I will set up an inspection for the existing building in the near future.

**Site Services – Hazardous Chemical Storage**

In accordance with §4.6. B #5, all proposed commercial and industrial developments must submit written confirmation of hazardous materials to be used and stored on-site. Documentation is to be forwarded to the County Office of Emergency Services.

**The property owner shall submit documentation providing hazardous chemicals are to be stored on site.**

**OUTSTANDING ITEMS:**

1. Site Plan Revisions:
  - a. Parking Table accurately referencing County required parking standards for Warehouse/Storage
    - i. Table to include Required parking in relation to Provided Parking
  - b. Include County’s case number on cover page (19-191)
  - c. Graphically show County required building setbacks
  - d. Outdoor lighting locations
    - i. Plan note: ‘All outdoor lighting shall be full cut off in accordance with IESNA standards’
  - e. Fire Code Compliance notes and include plan components complying with code requirements
  - f. Loading Area Designations
  - g. Graphically show adequate truck/vehicle traffic circulation in order to prevent on site activity from effecting the public roadway.
  - h. Include approved septic system
2. The property owner shall receive AR DoT approval for any activity or driveway connection within the State’s right of way.
3. The project engineer shall provide a drainage report for the proposal detailing no net increase of post development runoff during a 10-year event.
4. SWPPP and ADEQ Notice of Automatic Coverage
5. Compliance with Fire Code Requirement for site design, building permitting, and occupancy
6. Utility and Service Letters:

- a. Solid waste disposal
  - b. Water
  - c. Electric
  - d. Hazard Chemical Storage
  - e. ADH approved septic permit
7. On or before September 4<sup>th</sup>, 2019, the applicant shall submit USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the September 18<sup>th</sup> Public Hearing.
  8. On or before September 4<sup>th</sup>, 2019, the applicant shall submit the required photographs verifying that the required public hearing notice signage along the property's frontage has been conspicuously posted on site.

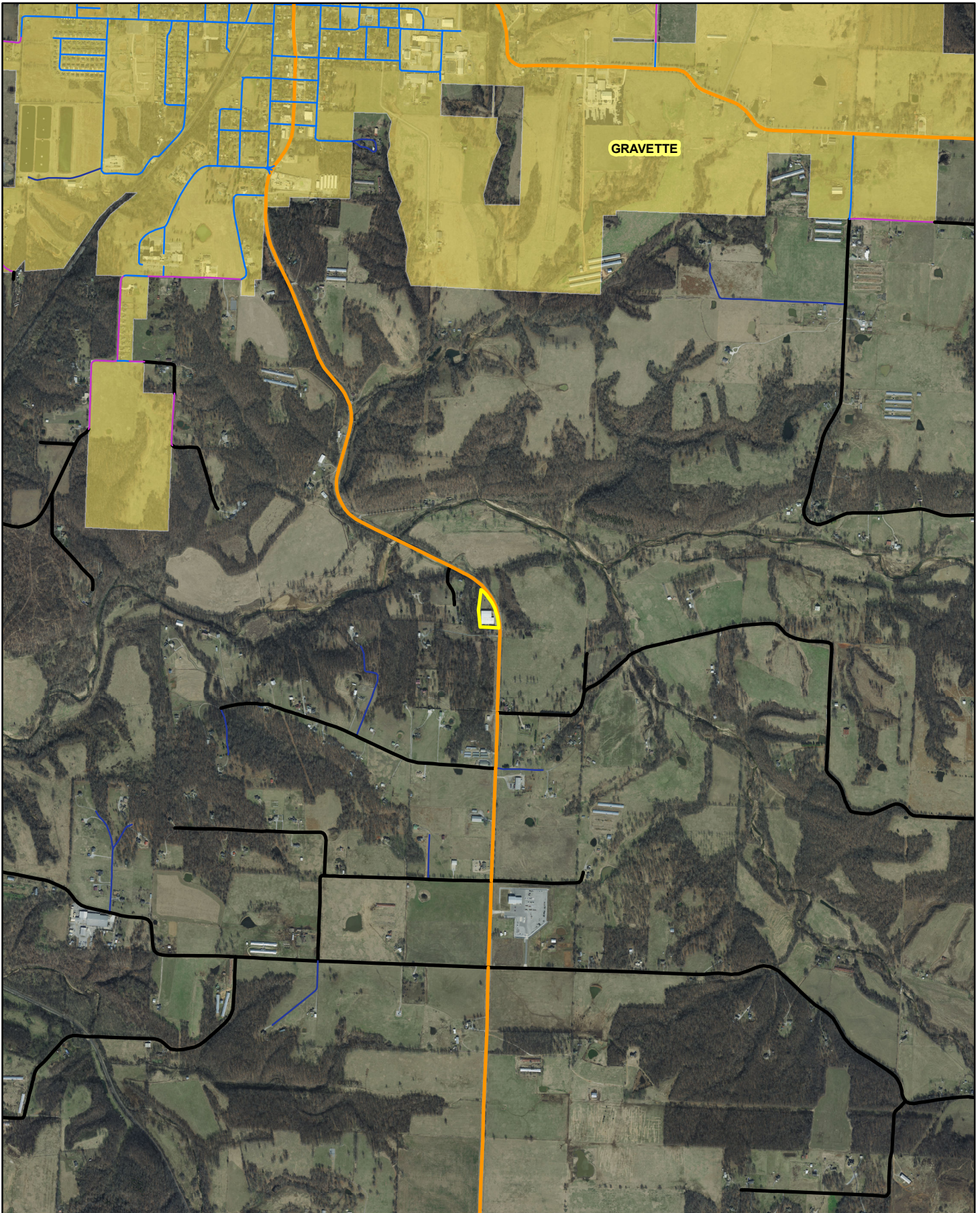
**Prepared by:** Taylor Reamer – Planning Director

**Reviewed by:** Tracy Backs – County Planner



Terra Rose Properties Site Graphic

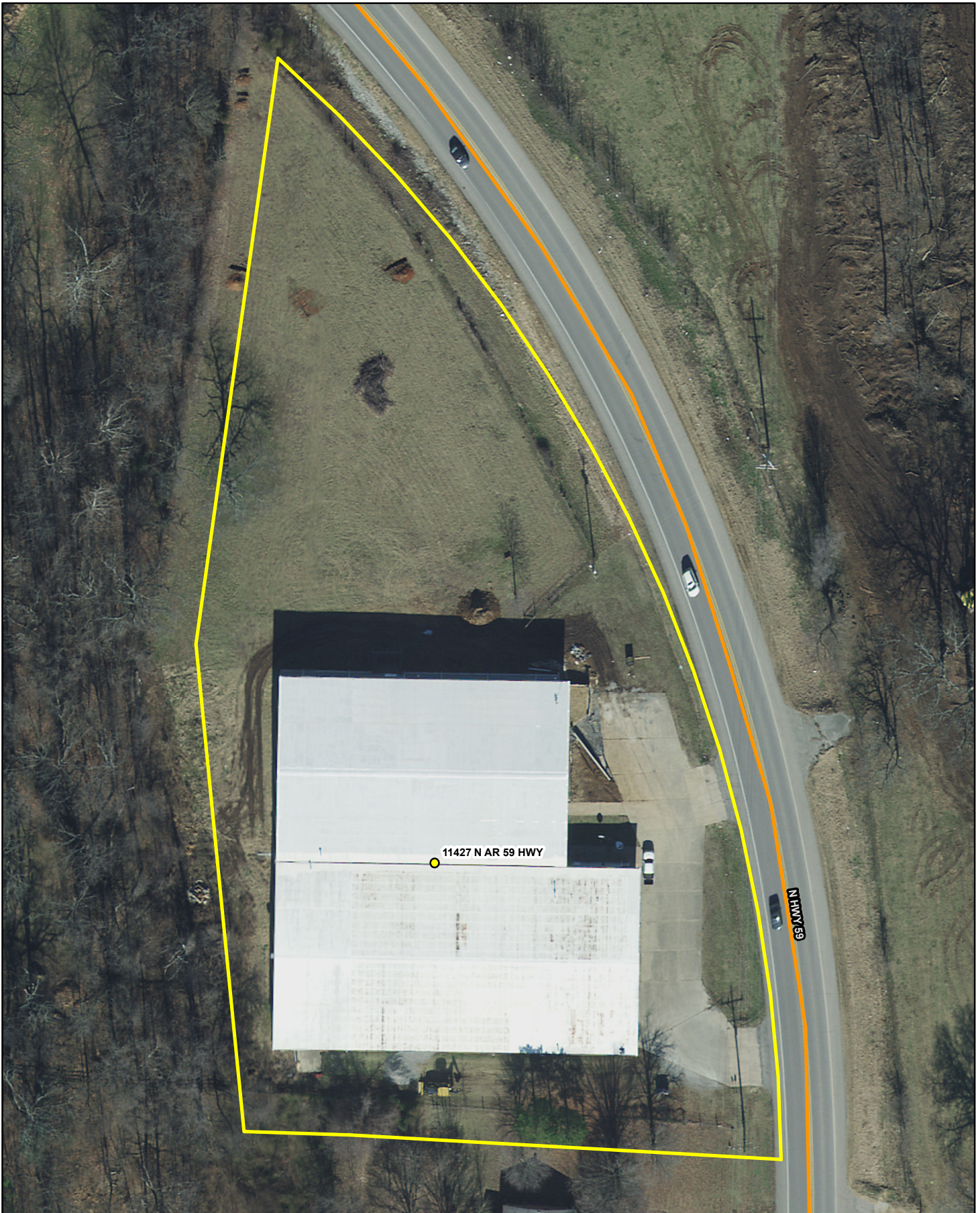
11427 N AR Hwy 59





Terra Rose Properties Site Graphic

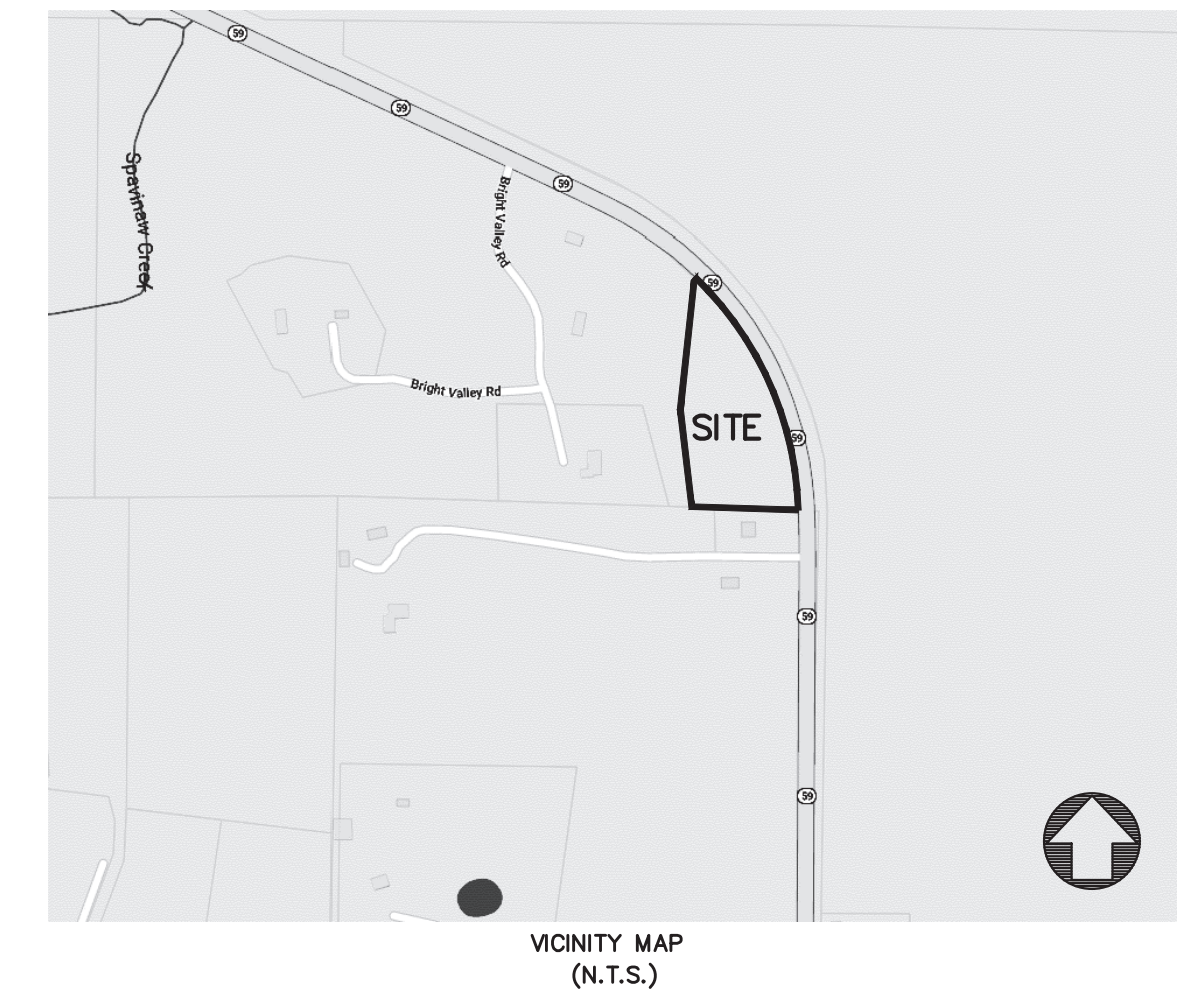
11427 N AR Hwy 59





# LARGE SCALE DEVELOPMENT PLANS FOR: TUGG LOGISTICS WAREHOUSE ADDITION

11427 HWY 59  
GRAVETTE, BENTON COUNTY, AR



## GENERAL NOTES:

1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE. BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 18", WHICHEVER IS LESS, CONTACT GRAY ROCK, LLC. AT 479-250-9131 PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL WHICH HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. THE OWNER AND GRAY ROCK, LLC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
4. CALL BEFORE YOU DIG AT 1-800-482-8998.
5. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES AND CONSTRUCTION STAKING ASSOCIATED WITH THE PROJECT.
6. THE LAND DISTURBANCE PERMIT MUST BE KEPT ON THE WORK SITE AND SHOWN UPON REQUEST.
7. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING IF NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
8. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE, ANY AND ALL COST ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF THE CONTRACTOR DOES NOT ADEQUATELY HANDLE STORM WATER MANAGEMENT FACILITIES AND A PROFESSIONAL ENGINEER IS REQUIRED, BY A GOVERNING AGENCY DURING THE CONSTRUCTION OF SAID FACILITIES.
9. THE OWNER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES AND FOR DIVERTING STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
10. THE OWNER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR PUBLIC WATER MAIN AND SANITARY SEWER MAIN INSTALLATION/REPAIR.
11. SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO INSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.
12. ALL SITE WORK AND CONSTRUCTION FOR THIS PROJECT SHALL BE IN CONFORMANCE WITH THE CITY OF BENTON COUNTY REGULATIONS.
13. ALL PAVEMENT STRIPING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS AND THE DETAILS PROVIDED.
14. THE CONTRACTOR SHALL SPOIL ANY EXCESS TOPSOIL LOCATED ON THE SITE THAT IS NOT REQUIRED TO PERFORM LANDSCAPE OPERATIONS. IF SUFFICIENT TOPSOIL IS NOT PRESENT ON SITE, THE CONTRACTOR SHALL IMPORT TOPSOIL TO THE SITE IN ORDER TO COMPLETE THE LANDSCAPE OPERATIONS. THE CONTRACTOR SHALL PERFORM A SOIL TEST ON THE EXISTING AND IMPORTED TOPSOIL AND APPLY LIME AND FERTILIZER AS RECOMMENDED BY THE TESTING AGENCY.
15. CONTRACTOR SHALL FIELD VERIFY DEPTHS AND SIZES OF EXISTING UTILITIES TO BE CROSSED PRIOR TO LAYING NEW LINES. CONTRACTOR SHALL NOT SUBMIT CLAIM FOR EXTRA WORK PERFORMED FOR LAYING NEW LINES THAT CONFLICT WITH EXISTING UTILITIES WHICH WERE NOT VERIFIED PRIOR TO BEGINNING NEW WORK. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS EXPOSED PRIOR TO LAYING NEW LINES.
16. ALL CURB/ACCESSIBLE RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR THE CITY OF BENTON COUNTY STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
17. THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR OBTAINING ALL NPDES PERMITS AND FOR THE IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO MEET THE NPDES STORM WATER DISCHARGE PERMIT REQUIREMENTS AND SPECIFICATIONS. THE OWNER SHALL ALSO BE FULLY RESPONSIBLE FOR ANY PENALTIES FROM THE LOCAL, STATE, OR FEDERAL AUTHORITIES AS A DIRECT OR INDIRECT RESULT OF THE IMPROPER OR INADEQUATE IMPLEMENTATION OF THE SWPPP.
18. ALL WELLS SYSTEMS (IF ANY) SHALL BE LOCATED AND ABANDONED BY A STATE-LICENSED AND BONDED DRILLER ACCORDING TO LOCAL, STATE, AND FEDERAL REQUIREMENTS.
19. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY BENTON COUNTY WATER UTILITIES.
20. DESIGN PLANS SHALL NOT BE CONSIDERED CONSTRUCTION/BID DOCUMENTS UNTIL APPROVAL IS OBTAINED FROM ALL APPLICABLE LOCAL AND STATE GOVERNING AGENCIES.
21. A BENTON COUNTY ROAD OR AHTD PERMIT IS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
22. ALL WATER LINE AND SEWER LINE INSTALLATION SHALL CONFORM TO THE STANDARDS AND DETAILS OF BENTON COUNTY WATER UTILITIES AND ARKANSAS HEALTH DEPARTMENT SPECIFICATIONS.
23. THE CITY OF BENTON COUNTY STREET STANDARDS, DRAINAGE CRITERIA MANUAL, SUBDIVISION ORDINANCE, WATER, SEWER, ELECTRIC UTILITY SPECIFICATIONS AND STATE CODE SHALL GOVERN THESE PLANS. IF THERE ARE DISCREPANCIES IN THE PLANS OR INFORMATION CONTAINED WITHIN, CITY OF BENTON COUNTY ORDINANCES, STANDARDS, AND SPECIFICATIONS SHALL RULE, UNLESS APPROVED IN WRITING BY THE CITY ENGINEER.
24. TO SCHEDULE AN INSPECTION OR TEST WITH THE CITY OF BENTON COUNTY ENGINEERING DEPARTMENT, INSPECTIONS MUST BE CALLED IN (479-271-3168) BY THE ENGINEER OF RECORD 24 HOURS IN ADVANCE BEFORE 10AM FOR AN INSPECTION THE FOLLOWING DAY.
25. THE ENGINEER OF RECORD MUST CERTIFY THE SITE AND THE PROJECT MUST PASS A DEVELOPMENT FINAL SITE INSPECTION BEFORE REQUESTING A BUILDING FINAL INSPECTION.

## GOVERNING AGENCIES

BENTON COUNTY PLANNING DEPARTMENT  
1204 SW 14TH STREET  
BENTONVILLE, AR 72712  
(479) 464-6166

BENTON COUNTY FIRE DEPARTMENT  
1204 SW 14TH STREET  
BENTONVILLE, AR 72712  
MARC TROLLINGER FIRE MARSHAL  
(479) 271-1003

AHTD  
P.O. BOX 610  
HARRISON, AR 72602  
CONTACT: BEN KERWOOD  
(870) 743-2100

## UTILITY AGENCIES

GAS COMPANY  
BLACK HILLS ENERGY  
1301 FEDERAL WAY, PO BOX 2129  
LOWELL, AR 72745  
CONTACT: JOSH KNIGHT  
(479) 333-7005  
Joshua.knight@blackhillscorp.com

TELEPHONE COMPANY  
AT&T  
627 WHITE ROAD  
SPRINGDALE, AR 72766  
CONTACT: SCOTT SEAMAN  
(479) 442-1967  
OR LAYNE RHODES  
(479) 442-1977  
LR159@ATT.COM

CABLE COMPANY  
COX COMMUNICATIONS  
4901 S. 48TH ST.  
SPRINGDALE, AR 72762  
CONTACT: KIP SMITH  
(479) 717-3796  
kip.smith@cox.com

ELECTRIC COMPANY  
CARROL ELECTRIC DEPARTMENT  
707 SE WALTON BLVD.  
BENTONVILLE, AR 72712  
(479) 273-2421

## PROPERTY DESCRIPTION (FROM SURVEY):

PART OF THE NORTHWEST QUARTER (NW¼) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 33 WEST, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SE CORNER OF THE NW¼ OF THE SE¼ OF SAID SECTION 24; THENCE N86°22'51"W 65.40 FEET TO THE POINT OF BEGINNING; THENCE N86°22'51"W 293.32 FEET; THENCE N05°22'41"W 265.04 FEET; THENCE N08°14'50"E 319.68 FEET TO THE WEST RIGHT-OF-WAY LINE OF ARKANSAS HIGHWAY 59; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE AND A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1151.80 FEET, AN ARC LENGTH OF 350.71 FEET, A CENTRAL ANGLE OF 17°26'48", AND A CHORD BEARING AND DISTANCE OF S33°08'34"E 349.36 FEET; THENCE CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE AND A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 944.22 FEET, AN ARC LENGTH OF 318.19 FEET, A CENTRAL ANGLE OF 19°18'29", AND A CHORD BEARING AND DISTANCE OF S14°45'56"E 316.69 FEET TO THE POINT OF BEGINNING, CONTAINING 118,478.33 SQUARE FEET OR 2.72 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

## FLOOD CERTIFICATION:

I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007C0040J (EFFECTIVE DATE SEPTEMBER 28, 2007 ) AND FOUND THE DESCRIBED PROPERTY HEREON LIES IN ZONE "X", AN AREA HAVING NO SPECIAL FLOOD HAZARDS.

## DRAWING LIST

COVER SHEET	C0.0
SURVEY	C1.0
SITE PLAN	C2.0
GRADING PLAN	C3.0
EROSION CONTROL PLAN	C4.0
UTILITY PLAN	C5.0
LANDSCAPE PLAN	C6.0
DETAIL SHEETS	C7.0

## OWNER/DEVELOPER:

TUGG LOGISTICS  
TERRA ROSE PROPRTIE, LLC  
11427 N. HWY 59  
GRAVETTE, AR 72736  
(479)418-1376

## ARCHITECT

HENRY ARCHITECTURE  
1722 NORTH COLLEGE AVE., SUITE C - BOX 153  
FAYETTEVILLE, AR 72703  
479-530-9693

## SURVEYOR:

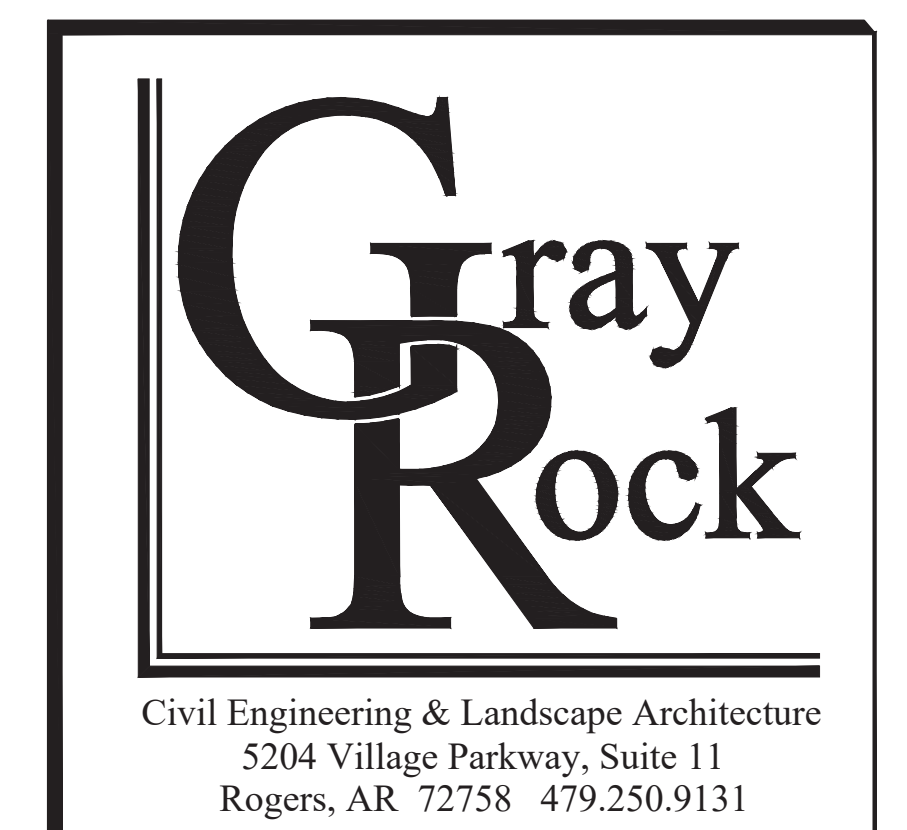
CASTER & ASSOCIATES LAND SURVEYING, INC  
2715 SE "I" Street, Suite 5  
Bentonville, AR 72712  
Telephone 479-268-4464

PRELIMINARY  
NOT FOR  
CONSTRUCTION



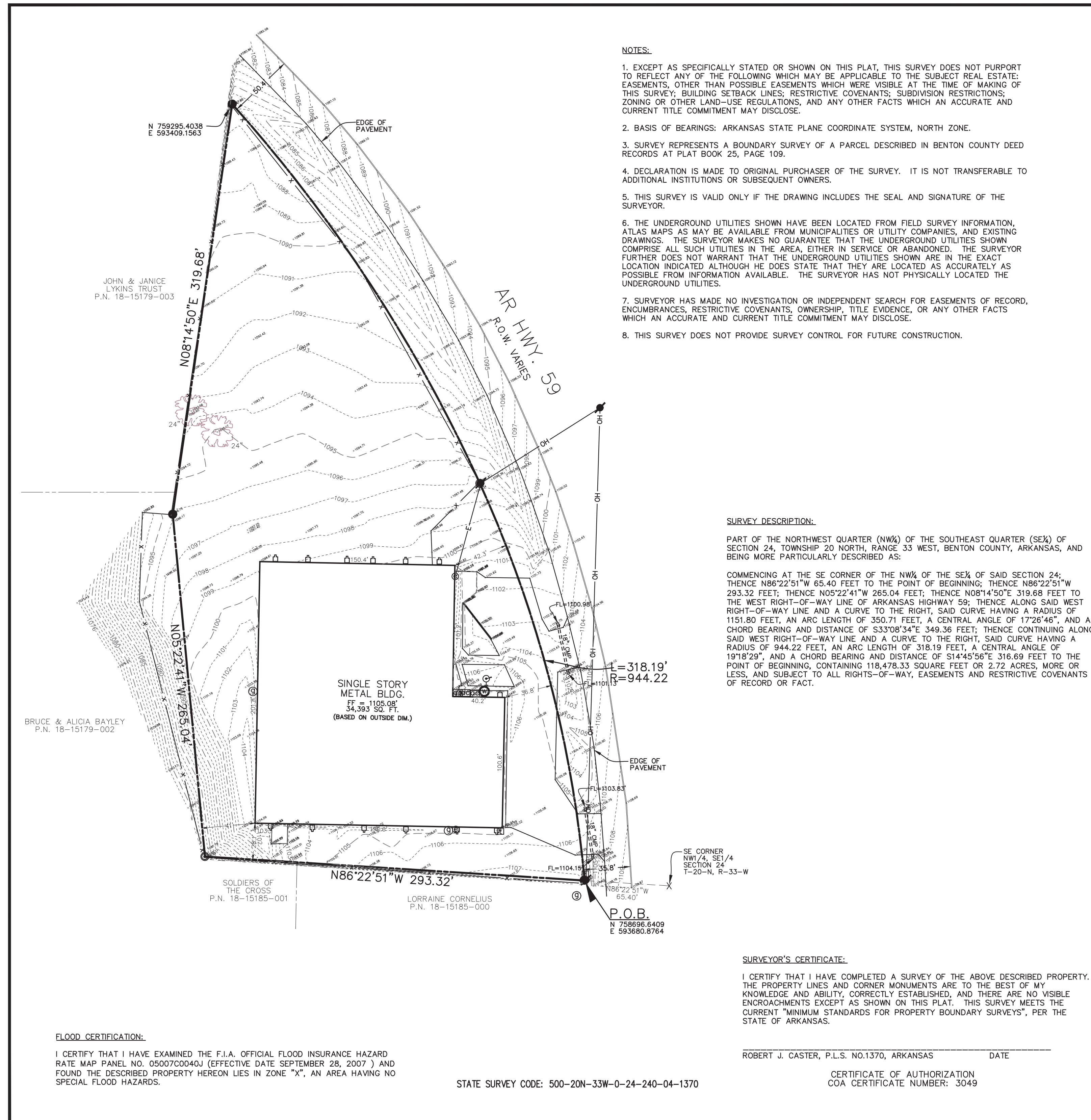
\*\*\* CAUTION \*\*\*

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



C0.0  
AUGUST 21, 2019





- NOTES:**
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
  - BASIS OF BEARINGS: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE.
  - SURVEY REPRESENTS A BOUNDARY SURVEY OF A PARCEL DESCRIBED IN BENTON COUNTY DEED RECORDS AT PLAT BOOK 25, PAGE 109.
  - DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
  - THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
  - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
  - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
  - THIS SURVEY DOES NOT PROVIDE SURVEY CONTROL FOR FUTURE CONSTRUCTION.

**SURVEY DESCRIPTION:**  
 PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 33 WEST, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS:  
 COMMENCING AT THE SE CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 24; THENCE N86°22'51"W 65.40 FEET TO THE POINT OF BEGINNING; THENCE N86°22'51"W 293.32 FEET; THENCE N05°22'41"W 265.04 FEET; THENCE N08°14'50"E 319.68 FEET TO THE WEST RIGHT-OF-WAY LINE OF ARKANSAS HIGHWAY 59; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE AND A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1151.80 FEET, AN ARC LENGTH OF 350.71 FEET, A CENTRAL ANGLE OF 17°26'46", AND A CHORD BEARING AND DISTANCE OF S33°08'34"E 349.36 FEET; THENCE CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE AND A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 944.22 FEET, AN ARC LENGTH OF 318.19 FEET, A CENTRAL ANGLE OF 19°18'29", AND A CHORD BEARING AND DISTANCE OF S14°45'56"E 316.69 FEET TO THE POINT OF BEGINNING, CONTAINING 118,478.33 SQUARE FEET OR 2.72 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

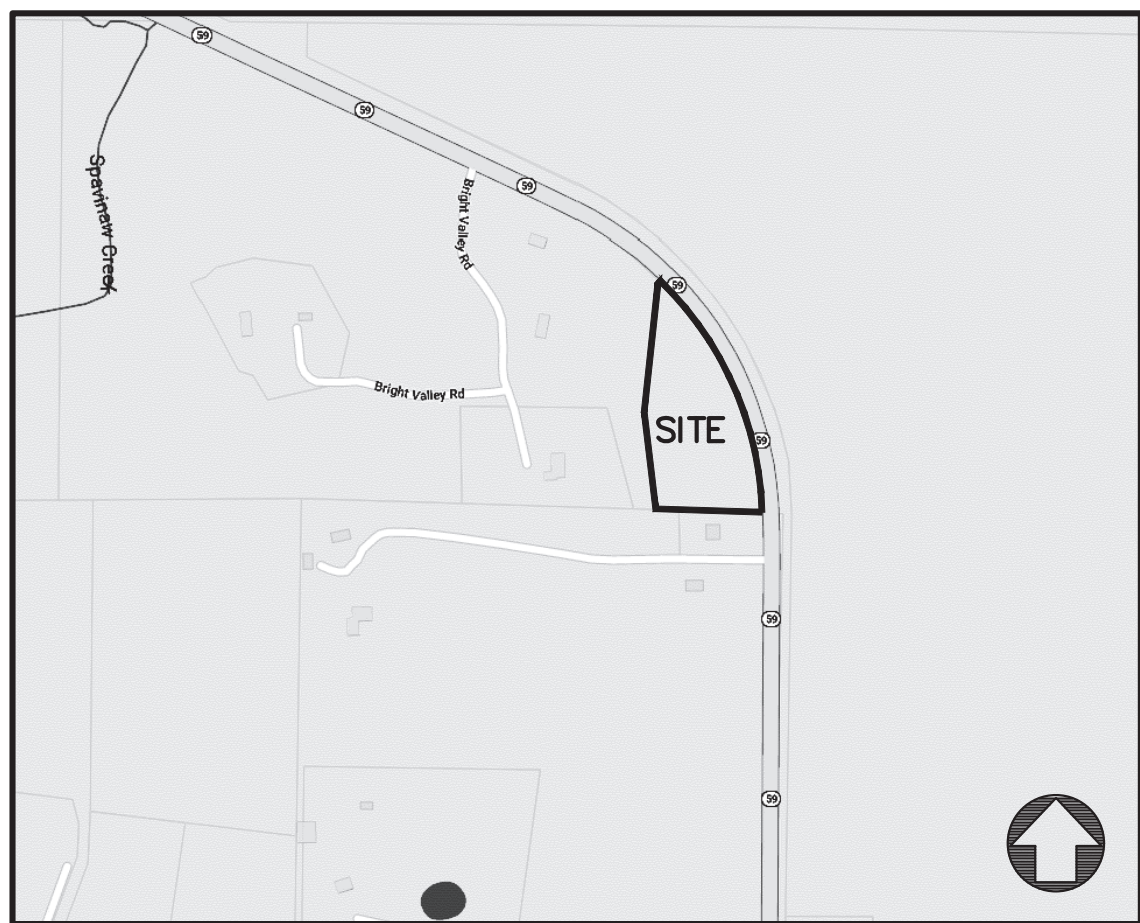
**SURVEYOR'S CERTIFICATE:**  
 I CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE ABOVE DESCRIBED PROPERTY. THE PROPERTY LINES AND CORNER MONUMENTS ARE TO THE BEST OF MY KNOWLEDGE AND ABILITY, CORRECTLY ESTABLISHED, AND THERE ARE NO VISIBLE ENCROACHMENTS EXCEPT AS SHOWN ON THIS PLAT. THIS SURVEY MEETS THE CURRENT "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS", PER THE STATE OF ARKANSAS.

ROBERT J. CASTER, P.L.S. NO.1370, ARKANSAS DATE \_\_\_\_\_

CERTIFICATE OF AUTHORIZATION  
 COA CERTIFICATE NUMBER: 3049

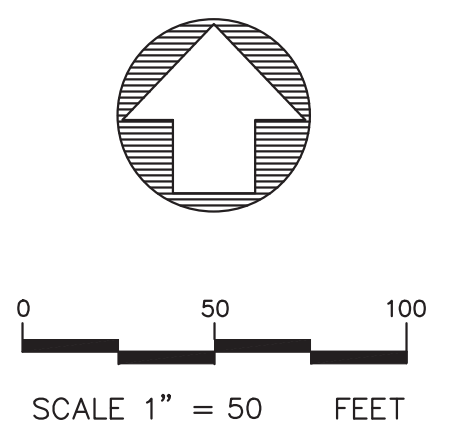
**FLOOD CERTIFICATION:**  
 I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007C0040J (EFFECTIVE DATE SEPTEMBER 28, 2007) AND FOUND THE DESCRIBED PROPERTY HEREON LIES IN ZONE "X", AN AREA HAVING NO SPECIAL FLOOD HAZARDS.

STATE SURVEY CODE: 500-20N-33W-0-24-240-04-1370



**LEGEND**

- FOUND REBAR
- SET 1/2" REBAR W/CAP, LS 1370
- TELEPHONE RISER
- ⊕ GAS METER
- ⊖ ELECTRIC METER
- ⊞ AIR COND. UNIT
- ⊗ WELL
- ⊙ SATELLITE DISH
- ⊛ UTILITY POLE
- ⊜ ROOF DRAIN
- E — UNDGR ELECTRIC
- OH — OVERHEAD LINE
- x — WIRE FENCE
- — — — — PROPERTY LINE
- — — — — RIGHT-OF-WAY LINE
- — — — — FLOWLINE
- CONTOUR LINE
- SPOT ELEVATION
- ⊕ DECIDUOUS TREE



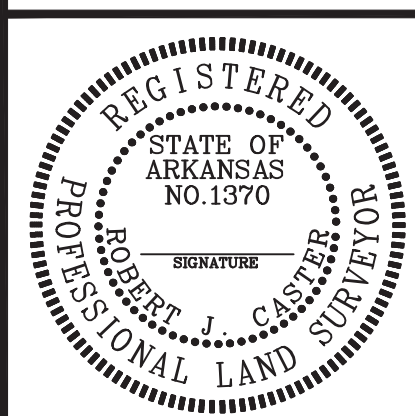
**CASTER & ASSOCIATES**  
**LAND SURVEYING, INC.**  
 2715 SE "I" Street, Suite 5  
 Bentonville, AR 72712  
 Telephone 479-268-4464

SCALE: 1" = 50'      DATE: 2-12-19

**TOPOGRAPHIC/BOUNDARY SURVEY**  
**PART NW1/4, SE1/4**  
**SECTION 24, T-20-N, R-33-W**

**11427 N. AR HWY. 59**  
**BENTON COUNTY, ARKANSAS**

JOB # 19-025	DRAWN BY: ASD	CHK'D BY: RJC	PAGE 1 OF 1
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**EXISTING LEGEND**

- C.O.E. MONUMENT
- ∅ FIBER OPTICS SIGN
- ⊕ FIRE HYDRANT
- ⊙ GAS VALVE
- ⊙ GAS REGULATOR
- ⊙ POWER POLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SET 1/2" IRON REBAR
- ⊙ STORM DRAIN MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ WATER VALVE
- CENTERLINE ROAD
- - - RIGHT-OF-WAY LINE
- - - WIRE R/W FENCE
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- - - OVERHEAD ELECTRIC LINE
- - - PROPERTY LINE

**PROPOSED LEGEND**

- 1.295 PROPOSED CONTOUR
- 1.294 PROPOSED CONTOUR
- 1.295.50 SPOT ELEVATION

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

THESE PLANS ARE NOT  
CONSIDERED FINAL UNLESS  
SIGNED BELOW BY THE CIVIL  
ENGINEER

CIVIL ENGINEER

NO.	DATE	REVISION

**TUGG LOGISTICS  
WAREHOUSE**  
11427 HWY 59  
GRAVETTE, AR

GRAY ROCK, LLC.  
5204 Village Parkway, Suite 11  
Rogers, Arkansas 72758  
www.grayrockconsulting.com  
479.250.9131 office  
800.887.7665 fax



PROJECT NO. 19-201	SCALE 1"=30'
DATE AUGUST 21, 2019	
GRADING PLAN	
SHEET	NO.
C3.0	

**GRADING NOTES:**

1. THE CONTRACTOR SHALL CALL THE ARKANSAS ONE CALL AT 1-800-482-8998 FOR UTILITY LOCATIONS AT LEAST 48 WORKING HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES
2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND M.E.P. PLANS FOR THE EXACT NUMBER, SIZE AND LOCATION OF THE ROOF DRAINS.
3. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING UTILITY SERVICES AND MAINS. ANY DAMAGE TO THEM SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
4. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 18", WHICHEVER IS LESS, CONTACT GRAY ROCK AT 479-250-9131 PRIOR TO PROCEEDING WITH CONSTRUCTION.
5. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATIONS.
6. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BENTON COUNTY STANDARDS AND SPECIFICATIONS.
7. FINISH GRADES SHALL NOT EXCEED 3:1 (33.3%) SLOPE, UNLESS NOTED OTHERWISE.
8. ALL WORK WITHIN STATE RIGHT-OF-WAY SHALL BE PER THE ARKANSAS DEPARTMENT OF TRANSPORTATION.
9. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
10. STORM SEWER BEDDING AND BACKFILL SHALL BE IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS.
11. FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES COMPACTED THICKNESS, AND SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-698 (STANDARD PROCTOR).

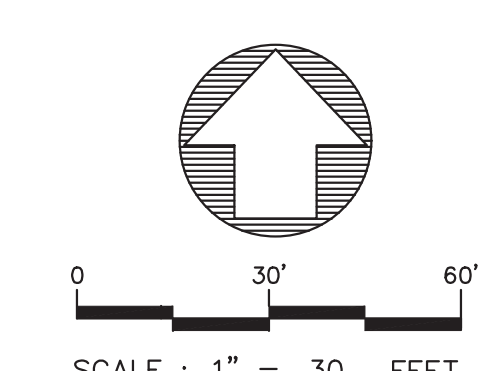
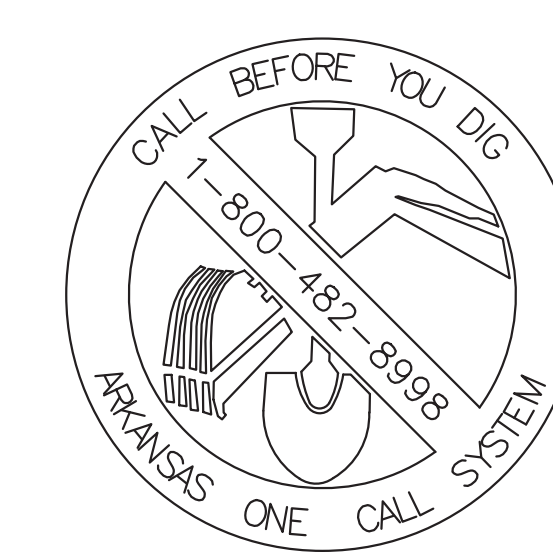
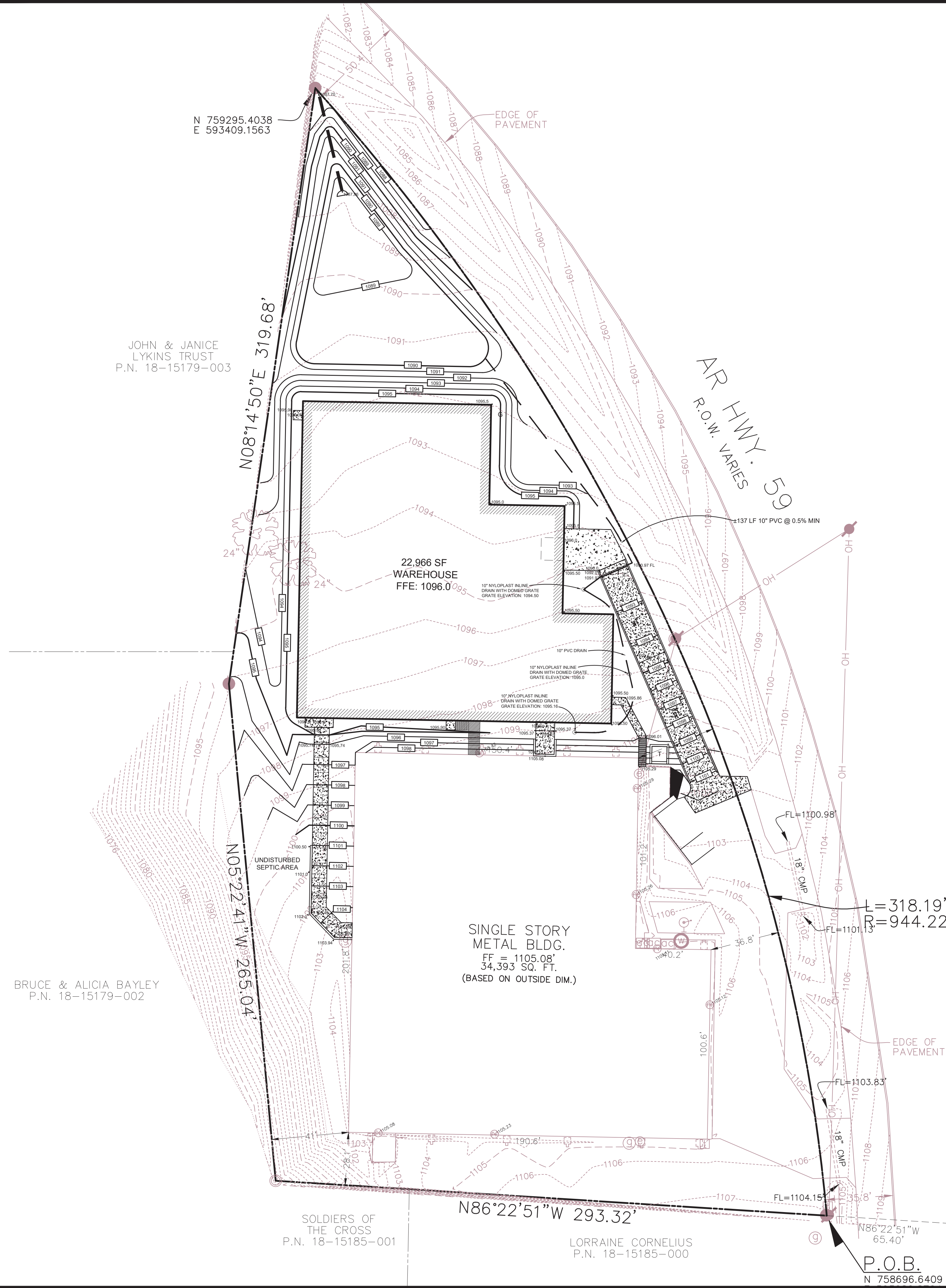
**SEEDING AND SODDING NOTE:**

ALL DISTURBED AREAS UNDER A 10% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4", FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 3-4 POUNDS PER 1000 SQUARE FEET AND PESCUE GRASS AT A RATE OF 8 POUNDS PER 1000 SQUARE FEET, OR SODDED IF THE AREA IS DESIGNATED FOR SOD. THE AREA MUST ALSO BE MULCHED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE GRASS UNTIL A HEALTHY PERMANENT STAND IS ESTABLISHED.

ALL DISTURBED AREAS WITH A 10% TO 15% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4", FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SODDED AND STAKED WITH ZOYSIA SOD (SEE PLAN FOR AREAS.) IF ANY OTHER SLOPES ARE GREATER BY THE CONTRACTOR ABOVE 10%, THEY SHALL ALSO BE TREATED IN THIS MANNER.

ALL AREAS OVER 15% SHALL BE PLANTED AS ABOVE, BUT SHALL ALSO BE COVERED WITH EROSION CONTROL FABRIC.

AREAS TO BE SODDED ARE DESIGNATED BY THE DOTTED HATCH AS SHOWN IN THE LEGEND ON THE LANDSCAPE PLAN.

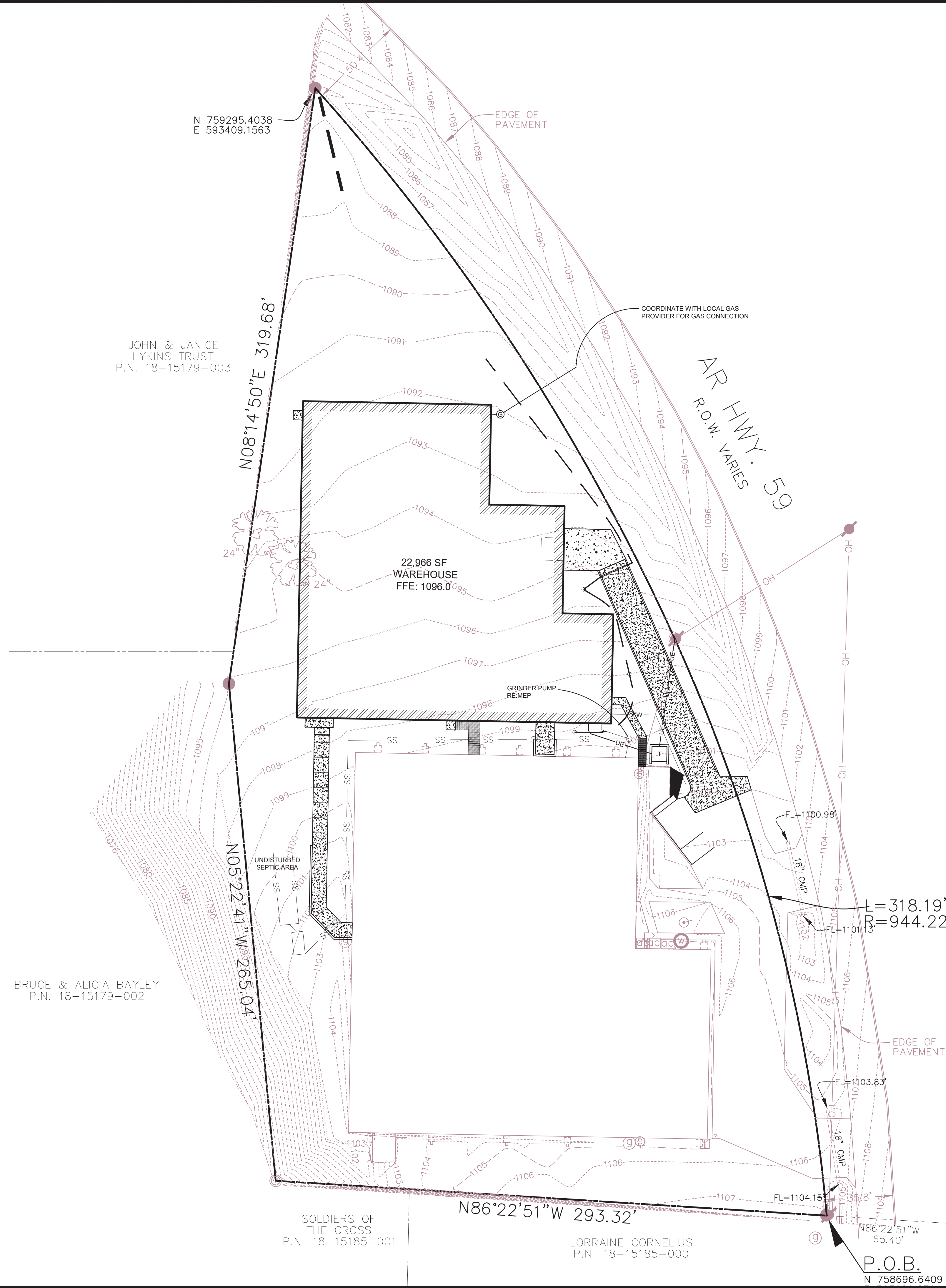


SE CORNER  
NW1/4, SE1/4  
SECTION 24  
T-20-N, R-33-W  
P.O.B.  
N 758696.6409









**WATER NOTES:**

1. ALL DUCTILE IRON WATER MAINS SHALL COMPLY WITH THE REQUIREMENTS OF BENTON COUNTY WATER UTILITIES. ALL FITTINGS, VALVES, METERS, AND OTHER WATER APPURTENANCES SHALL COMPLY WITH BENTON COUNTY WATER UTILITIES SPECIFICATIONS AND ARKANSAS DEPARTMENT OF HEALTH REQUIREMENTS.
2. ALL WATER MAINS SHALL HAVE A MINIMUM OF 3 FEET OF COVER FROM FINISHED GRADE, OR 3.5' OF COVER FROM THE ADJACENT STREET CENTERLINE, WHICHEVER DEPTH IS GREATER.
3. ALL PUBLIC WATER MAIN PIPES SHALL BE 8" DUCTILE IRON CLASS 350 PER BENTON COUNTY WATER UTILITIES SPECIFICATIONS.
4. ALL WATER SERVICE LINES INSTALLED UNDER AN EXISTING STREET SHALL BE INSTALLED IN 4" PVC SCHEDULE 40 CASING PIPES PER BENTON COUNTY WATER UTILITIES REQUIREMENTS.
5. THE CONTRACTOR SHALL NOT TAP OR OTHERWISE PENETRATE EXISTING WATER MAINS.
6. ALL CONNECTIONS TO EXISTING WATER MAINS ARE MADE BY BENTON COUNTY WATER UTILITIES ON A COST PLUS BASIS. ANY TAP(S)/CONNECTION(S) AT EXISTING WATER MAINS (OR 8" PLUGGED GATE VALVES) SHALL BE MADE BY BENTON COUNTY WATER UTILITIES AT THE DEVELOPER'S EXPENSE. THE WATER MAIN POINT OF CONNECTION SHALL BE FIELD VERIFIED AND THE CONNECTION SHALL BE COORDINATED WITH BENTON COUNTY WATER UTILITIES.
7. WATER METERS WILL BE SET BY BENTON COUNTY WATER UTILITIES AT THE DEVELOPER'S EXPENSE.
8. CONTRACTOR SHALL NOT OPERATE VALVES ON EXISTING WATER MAINS. BENTON COUNTY WATER UTILITIES OPERATES ALL WATER VALVES.
9. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO THE PERMANENT CONNECTION OF UTILITY MAINS AND SERVICES.
10. ALL INLINE GATE VALVES SHALL BE PLACED NO MORE THAN 5 FEET FROM FIRE HYDRANT.
11. ALL FIRE HYDRANTS SHALL BE LOCATED IN ACCORDANCE WITH BENTON COUNTY WATER UTILITIES DETAILS AND SPECIFICATIONS.
12. ALL VALVES WITH OPERATING NUTS DEEPER THAN 4' BELOW FINISHED GRADE REQUIRE EXTENSIONS IN ACCORDANCE WITH BENTON COUNTY WATER UTILITIES REQUIREMENTS.
13. ALL WATER SERVICE LINES BETWEEN THE WATER MAIN AND THE WATER METER ARE TO BE SEAMLESS COPPER TUBING (TYPE "K" SOFT COPPER).
14. MAINTAIN 10' HORIZONTAL SEPARATION (MINIMUM) BETWEEN WATER MAINS AND SANITARY SEWER MAINS.
15. MAINTAIN 10' HORIZONTAL SEPARATION (MINIMUM) BETWEEN WATER SERVICES AND SANITARY SEWER SERVICES.
16. ELECTRIC TRANSFORMERS SHALL NOT BE INSTALLED ACROSS WATER MAIN TRENCHES OR SANITARY SEWER MAIN TRENCHES.

**EXISTING LEGEND**

- C.O.E. MONUMENT
- ⊗ FIBER OPTICS SIGN
- ⊕ FIRE HYDRANT
- ⊙ GAS VALVE
- ⊙ GAS REGULATOR
- ⊙ POWER POLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SET 1/2" IRON REBAR
- ⊙ STORM DRAIN MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ WATER VALVE
- CENTERLINE ROAD
- - - - RIGHT-OF-WAY LINE
- WIRE R/W FENCE
- EASEMENT LINE
- - - - BUILDING SETBACK LINE
- OVERHEAD ELECTRIC LINE
- PROPERTY LINE

**PROPOSED LEGEND**

- W — 2" PVC SDR-21 DOMESTIC WATER LINE
- SS — SANITARY SEPTIC LINE
- E — UNDERGROUND ELECTRIC LINE
- GAS — UNDERGROUND GAS LINE
- ⊙ DOMESTIC WATER METER
- ⊙ GAS METER

**GENERAL UTILITY NOTES:**

1. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING UTILITY SERVICES AND MAINS. ANY DAMAGE TO THEM SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
2. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO SPECIFICALLY MENTION WORK WHICH IS REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
3. THE CONTRACTOR SHALL CALL ARKANSAS ONE CALL SYSTEM AT 1-800-482-8998 AT LEAST 48 WORKING HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
4. ALL PUBLIC WATER AND SANITARY SEWER MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH BENTON COUNTY WATER UTILITIES SPECIFICATIONS AND STATE OF ARKANSAS REQUIREMENTS.
5. ALL PRIVATE WATER AND SANITARY SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL PLUMBING CODE.
6. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 18", WHICHEVER IS LESS, CONTACT GRAY ROCK TO REPORT ANY DISCREPANCIES.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. GRAY ROCK ACCEPTS NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
8. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL UNDERGROUND UTILITIES ASSOCIATED WITH THE PROJECT, PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT PLANS TO BE SUBMITTED TO CITY, AND ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
9. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER MAINS AS REQUIRED BY BENTON COUNTY WATER UTILITIES AND THE ARKANSAS DEPARTMENT OF HEALTH.
10. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO FINAL CONNECTION OF UTILITY SERVICES.
11. ALL WATER AND SANITARY SEWER TRENCHING AND BEDDING SHALL BE PER BENTON COUNTY WATER UTILITIES STANDARDS AND SPECIFICATIONS.
12. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO OBTAIN ALL UTILITY EASEMENTS THAT ARE NECESSARY FOR THE INSTALLATION AND MAINTENANCE OF ALL PROPOSED UTILITIES. THE EASEMENTS MUST BE OBTAINED PRIOR TO BEGINNING ANY PUBLIC UTILITY INSTALLATION.
13. CONTRACTOR SHALL REFER TO M.E.P. PLANS FOR THE ROUTE, NUMBER, AND SIZE OF ELECTRIC SERVICE CONDUIT BETWEEN THE TRANSFORMER PAD AND THE BUILDING, AND BETWEEN THE BUILDING AND THE OUTDOOR LIGHT POLES AND SIGNAGE.
14. CONTRACTOR SHALL COORDINATE THE ROUTE, NUMBER, AND SIZE OF ELECTRIC SERVICE TO THE TRANSFORMER PAD WITH THE ELECTRIC COMPANY. TRANSFORMER PAD SHALL BE SIZED PER THE ELECTRIC COMPANY REQUIREMENTS.
15. PROPOSED OUTDOOR LIGHTING SHALL BE COORDINATED WITH THE UTILITY COMPANY AND M.E.P.
16. CONTRACTOR SHALL COORDINATE SIZE, ROUTE, POINT OF CONNECTION, AND INSTALLATION OF THE TELEPHONE SERVICE LINE, GAS SERVICE LINE, AND CABLE SERVICE LINE WITH THE RESPECTIVE UTILITY COMPANIES AND THE M.E.P. ENGINEERS.
17. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SANITARY SEWER LINES AS REQUIRED.
18. COORDINATE SIZE AND LOCATION OF GAS METERS AND SERVICE LINES WITH BLACK HILLS ENERGY
19. FOR CONTINUATION OF ALL BUILDING UTILITIES REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
20. EACH CONTRACTOR TO COORDINATE INSTALLATION OF SITE AND BUILDING UTILITIES WITH ALL SUB-CONTRACTORS, UTILITY COMPANIES, AND OWNERS SUB-CONTRACTORS.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

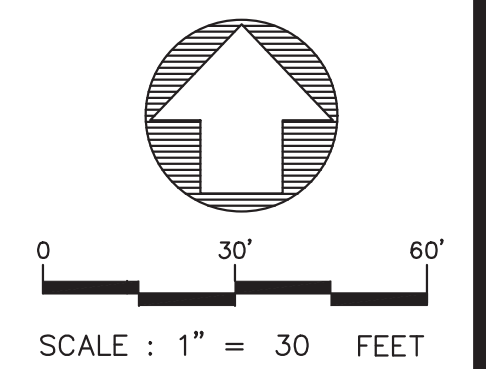
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SIGNED BELOW BY THE CIVIL  
ENGINEER

CIVIL ENGINEER

NO.	DATE	REVISION

**TUGG LOGISTICS  
WAREHOUSE**  
11427 HWY 59  
GRAVETTE, AR

GRAY ROCK, LLC  
5204 Village Parkway, Suite 11  
Rogers, Arkansas 72758  
www.grayrockconsulting.com  
479.230.9131 office  
800.887.7665 fax



PROJECT NO. 19-201 SCALE 1"=30'  
DATE: AUGUST 21, 2019  
**UTILITY PLAN**  
SHEET NO. C5.0

BRUCE & ALICIA BAYLEY  
P.N. 18-15179-002

SOLDIERS OF  
THE CROSS  
P.N. 18-15185-001

LORRAINE CORNELIUS  
P.N. 18-15185-000

P.O.B.  
N 758696.6409

SE CORNER  
NW1/4, SE1/4  
SECTION 24  
T-20-N, R-33-W



PRELIMINARY  
NOT FOR  
CONSTRUCTION

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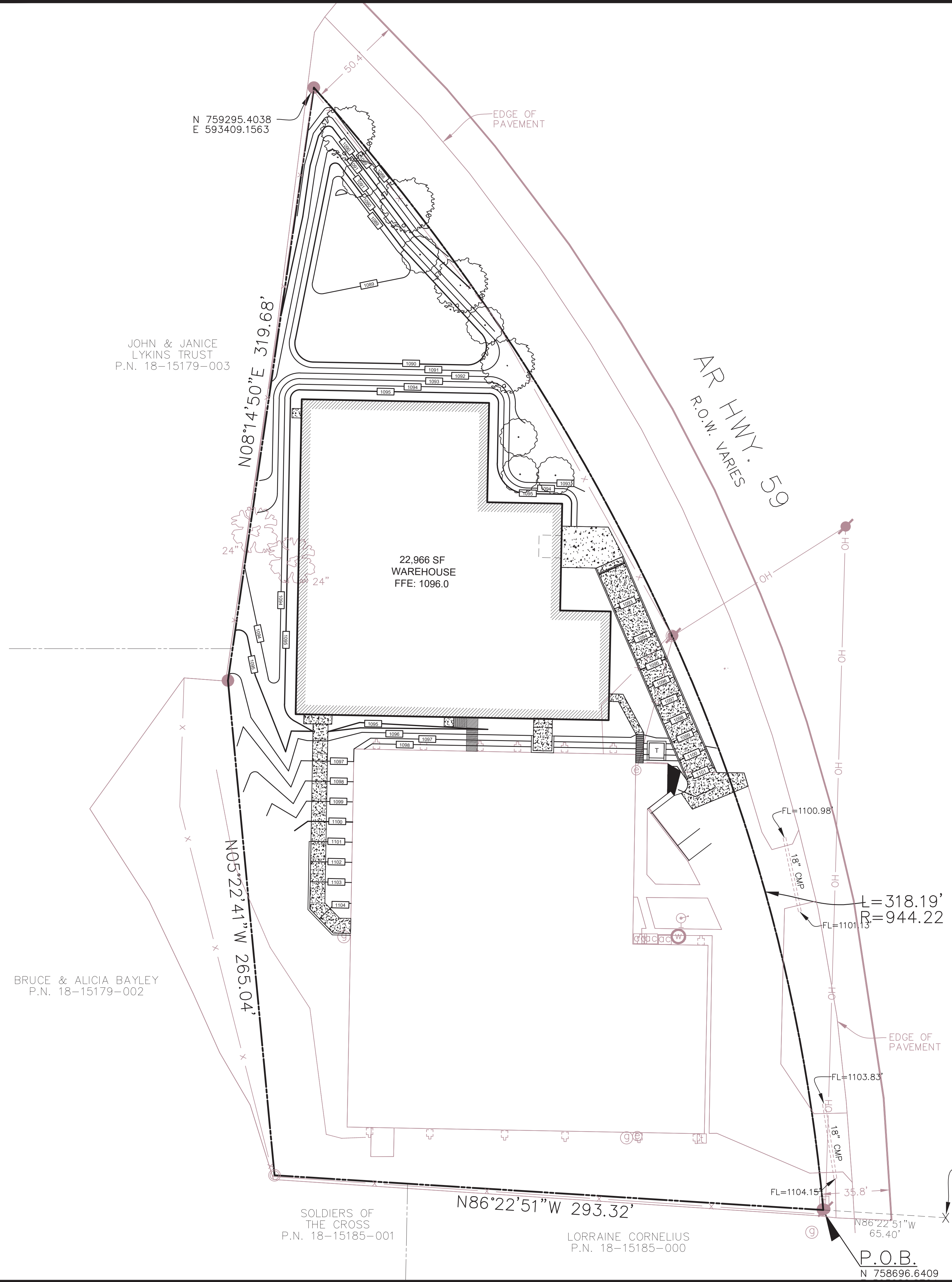
PROJECT NO. 19-201	SCALE 1"=30'
DATE AUGUST 21, 2019	
LANDSCAPE PLAN	
SHEET	NO.
C6.0	

EXISTING LEGEND

- C.O.E. MONUMENT
- ∅ FIBER OPTICS SIGN
- ⊕ FIRE HYDRANT
- ⊙ GAS VALVE
- ⊙ GAS REGULATOR
- ⊙ POWER POLE
- ⊙ SANITARY SEWER MANHOLE
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- - - BUILDING SETBACK LINE
- - - OVERHEAD ELECTRIC LINE
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PROPOSED LEGEND  
PLANT SCHEDULE

NO.	SYM.	COMMON NAME Botanical Name	SIZE/SPACING/ REMARKS
6		EASTERN REEDBUD <i>Cercis canadensis</i>	2" CAL. / B&B AS SHOWN
4		OCTOBER GLORY MAPLE <i>Acer rubrum 'October Glory'</i>	2" CAL. / B&B AS SHOWN



LANDSCAPE PLAN NOTES:

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED FOR THE COMPLETE INSTALLATION OF LANDSCAPE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN. PLANT MATERIAL SIZES AND GRADING SHALL COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL SHALL BE HEALTHY AND FREE FROM ALL VISIBLE SIGNS OF DISEASE OR PEST INFESTATION.
- CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING WITH ANY WORK, CONTACT 1-800-482-8998.
- NO CHANGES TO APPROVED PLANT SCHEDULE WILL BE ALLOWED WITHOUT THE APPROVAL OF THE OWNER AND THE OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE INSTALLED, MULCHED, GUYED AND STAKED PER THE DETAILS. ALL SHRUBS SHALL BE INSTALLED AND MULCHED PER THE DETAILS.
- BROWN PAINTED HARDWOOD MULCH, A MINIMUM OF 3" DEEP, SHALL BE APPLIED TO ALL PLANTING BEDS SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL PROVIDE A ONE YEAR MINIMUM WARRANTY FOR ALL PLANT MATERIALS AND INSTALLATION FROM THE DATE OF ACCEPTANCE.
- CONTRACTOR SHALL SPOIL ANY EXCESS TOPSOIL LOCATED ON THE SITE THAT IS NOT REQUIRED TO PERFORM LANDSCAPE OPERATIONS. IF SUFFICIENT TOPSOIL IS NOT PRESENT ON SITE, THE CONTRACTOR SHALL IMPORT TOPSOIL TO THE SITE IN ORDER TO COMPLETE THE LANDSCAPE OPERATIONS. THE CONTRACTOR SHALL PERFORM A SOIL TEST ON THE EXISTING AND IMPORTED TOPSOIL AND APPLY LIME AND FERTILIZER AS RECOMMENDED BY THE TESTING AGENCY.
- IN ALL PLANTING BEDS SOIL SHALL BE AMENDED WITH TWELVE INCHES OF TOPSOIL AND A MINIMUM OF SIX INCHES OF COMPOST TILLED INTO THE BEDS.
- NOTHING SHALL BE PLACED OR PERMITTED BETWEEN 30" AND 60" IN HEIGHT IN THE SHADED SIGHT TRIANGLE AREAS.
- ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.
- ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED WITHIN ONE YEAR.
- TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- LIVING MATERIALS, SUCH AS LAWN, GRASS, OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED.
- ALL TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY SHALL BE 4" CALIPER AND THE LOWEST LIMB SHALL BE 60" OR HIGHER FROM FINAL GRADE AT TIME OF PLANTING.
- IN AREAS WHERE POTENTIAL UTILITY CONFLICTS WITH LANDSCAPING, UTILITY LOCATIONS SHALL BE FIELD VERIFIED.

SEEDING AND SODDING NOTE:

ALL DISTURBED AREAS UNDER A 10% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4", FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 3-4 POUNDS PER 1000 SQUARE FEET AND WITH TURF-TYPE FESCUE AT A RATE OF 8 POUNDS PER 1000 SQUARE FEET, OR SODDED IF THE AREA IS DESIGNATED FOR SOD. THE AREA MUST ALSO BE MULCHED WITH STRAW. THE CONTRACTOR SHALL WATER AND MAINTAIN THE GRASS UNTIL A HEALTHY PERMANENT STAND IS ESTABLISHED.

ALL DISTURBED AREAS WITH A 10% TO 15% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4", FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SODDED AND STAKED WITH ZOYSIA GRASS (SEE PLAN FOR AREAS.) IF ANY OTHER SLOPES ARE CREATED BY THE CONTRACTOR ABOVE 10%, THEY SHALL ALSO BE TREATED IN THIS MANNER.

ALL AREAS OVER 15% SHALL BE PLANTED AS ABOVE, BUT SHALL ALSO BE COVERED WITH EROSION CONTROL FABRIC AND STAKED.

AREAS TO BE SODDED ARE DESIGNATED BY THE DOTTED HATCH AS SHOWN IN THE LEGEND ON THE PLAN.

