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**Benton County Planning Board**

Ron Homeyer, Chair  
Bob Bracy, Vice Chair  
Ashley Tucker, Member  
Stephen Torrez, Member  
Rick Williams, Member  
Terry Maienschein, Member  
Sean Collyge, Member



**Benton County Planning Department**

1204 SW 14<sup>th</sup> Street, Ste. 6  
Bentonville, AR 72712  
Phone: (479) 464-6166  
Fax: (479) 464-6170  
E-mail: [taylor.reamer@bentoncountyar.gov](mailto:taylor.reamer@bentoncountyar.gov)

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**SITE PLAN REVIEW  
PLANNER'S PUBLIC HEARING REPORT  
Bolin Self-Storage Site Plan Review  
414 E Nursery Road, Rogers AR 72756**

**EXECUTIVE SUMMARY**

The property owner proposes to develop the 5.4-acre property with a 204-unit self-service storage facility totaling 34,700-sq. ft.

The proposal includes 10 structures, gravel parking area throughout the compound, asphalt access drives, and two recessed access gates.

**PROJECT INFORMATION**

**Owner:** Scherrie Bolin

**Engineer:** WR Consulting, Inc.

**Address of subject property:** 414 E Nursery Road, Rogers

**Parcel IDs:** 18-03580-003

**Parcel Area:** 5.4 +/- acres

**Current Land Use(s):** Commercial

**Proposed Land Use(s):** Heavy Commercial – Self Service Storage Facility (204-units)

**Attachments:** The following drawings and documents are attached:

1. Vicinity Graphic
2. Context Map
3. Site Aerial
4. Civil Set from Applicant

**PLANNING ANALYSIS**

**Description of Property and Surrounding Area:**

The subject property consists of a five (5) acre parcel located on the south side of Nursey Road, approximately 0.15-mile east of the S 1<sup>st</sup> Street / Nursery Road intersection. Primary vehicular access is proposed via an asphalt apron from Nursery Road. The property is not located within the FEMA 100-yr. floodplain and is within the County designated Urbanized MS4 area. The immediately surrounding land uses are as follows:

- North: General Commercial
- East: General Commercial
- South: Industrial Zone I-1: City of Rogers
- West: General Commercial

**Background information:**

On March 21<sup>st</sup>, 2019, an inter-departmental review form was sent to the following agencies: Planning Department, Health Dept., Road Dept., Building Dept., Fire Marshal, Assessor’s GIS Mapping Manager, AR DoT, City of Rogers Planning, and Benton County E-911 Administration.

## **TECHNICAL REVIEW OF SITE PLAN**

### **Parcel Information:**

Site inspection and research against State assessment records show the property as having one commercially assessed improvement.

### **Noticing Requirements:**

On April 3<sup>rd</sup>, 2019, the applicant submitted USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the April 17<sup>th</sup> Public Hearing.

On or April 17<sup>th</sup>, 2019, the applicant submitted the required photographs verifying that the required public hearing notice signage along the property's frontage has been conspicuously posted on site.

### **Standard Building Setbacks:**

Required: Fifty (50) feet measured from the center line of the fronting road or twenty-five (25) feet from the fronting property lines, whichever is greater is required; A side and rear yard, building to property line setback of ten (10) feet is required.

Comments: The current site plans detail all County required setbacks. The project engineer shall include the height of the proposed retaining wall along the north property line. **Retaining walls greater than 4.0-ft. in height are subject to and building permitting requirements including building setbacks.**

### **Parking Requirements:**

#### 'Self Service Storage':

Required: 1 space per 30-units + 1 space per on site employee and adequate loading areas

**Required Parking: 7 spaces**

**Total Parking Required: 7 parking spaces, inclusive of 1-ADA compliant spaces.**

The current site plan does not indicate parking spaces provided on site; **plans shall be revised to accurately detail standard and ADA compliant parking spaces.**

### **Site Features - Loading area:**

**The site plan shall be revised to detail the required 10-ft. by 25-ft. loading/unloading area on site.**

### **Site Features – Lighting:**

**The current site plan shall provide the standard note that 'all outdoor lights will be full cut-off lighting in accordance with IESNA requirements.**

### **Parking / Landscape Buffer:**

Required: Adjoining incompatible uses should be screened with landscaping, walls, berms, or similar treatments. Section 4.6.16.c states that all required vegetative screening must have a minimum height of five (5) feet. All trees should be wire basket, B & B, or container grown. Smaller flowering trees and ornamentals will be centered at four (4') feet maximum. Coniferous trees will be centered at four (4') feet to five (5') feet depending on desired effect. All shrubs are to be planted in continuous planting beds. Planting beds will be mulched to a minimum depth of three (3") inches and will be maintained weed free. Plantings consisting of trees and shrubs will be a minimum of 50% coniferous plantings. All required setbacks are required to be maintained as landscaped open space, per §4.6(16).

Comment: Land Use Compatibility analysis, per sec. 6.7, shows that the proposed use is classified as ‘Heavy Commercial’, and is immediately adjacent to General Commercial uses. This places the proposed use as being Compatible with adjacent properties in accordance with Chapter 6, section 6.7 of the Planning and Development Regulations.

The current site plan detail ‘small trees’ plants 50-ft. on-center along the northern and western property lines. The developer proposes the installation of perimeter security fencing surrounding the facility.

**Access Driveways/Internal Circulation:**

Required: The design and construction shall be in accordance with the standards as presented in the Benton County Road Plan.

Comment: The site fronts along a County designated roadway. The applicant proposes to utilize an access drive from the public right-of-way south to the recessed access gate to the facility.

**The site plans shall be revised to detail the following:**

1. Schematic showing continuous traffic flow throughout the facility
2. Width measurements for the existing access drive from the public right of way
  - a. Access drive width and weight capacity shall meet Fire Marshal requirements
3. Truck/Fire Apparatus turning templates for the access drive from Nursery Road, access drives into facility, and hammerhead turnaround

**Site Services - Drainage/ Storm water Management Plan:**

Required: Applicant is required to indicate on plan storm drainage infrastructure and to provide an off-site drainage study. If study indicates an increase in peak flow discharge downstream, the developer shall construct a detention facility or an alternative LID methodology that shall control the peak runoff rate. The County also recommends minimizing impervious surface to limit the need for such facilities.

Comment: The subject property is located in an MS4 area, and **the developer shall obtain necessary State permits for construction site stormwater management and a County Stormwater Permit (SWP) prior to project initiation. The project engineer shall prepare a complete Stormwater Pollution Prevention Plan (SWPPP) in accordance with ADEQ’s Notice of Automatic Coverage Permit for sites less than 5.0-acres and the County’s Best Management Practices (BMPs) Manual.** The submitted drainage analysis details the use of a detention pond on the site’s southern property line to manage the increase peak flow from the development. **The drainage report shall be revised to include an off-site drainage analysis extending a minimum of 1,000-ft. off-site in accordance with Chapter 4.**

**Site Services - Solid Waste Disposal:**

**The applicant shall confirm the necessity of outdoor refuse containers and the location of such containers. The use of outdoor refuse containers requires written confirmation from the service provider and proper screening from adjacent properties and public right of way; additionally, the use of an outdoor refuse container requires the installation and maintenance of containment mechanisms to prevent stormwater contamination.**

**Site Services - Electrical Power Supply:**

**The applicant shall provide written confirmation from the electric provider.**

**Site Services – Septic System:**

Required: Regardless of development size, a state-approved septic disposal method is required of all commercial and industrial developments. All disposal system criteria must meet or exceed septic requirements as established by the Arkansas Department of Health (ADH) in accordance with Act 402 of 1977 as amended.

Comment: The project application does not entail the use or installation of an individual septic system.

**Site Services - Water Service:**

**The applicant shall provide written confirmation from the utility provider. Capacity flow testing shall be submitted prior to building permit, as applicable by Fire Marshal.**

**Site Services - Fire & EMS:**

The Benton County Emergency 911 Administration has not provided comment on the project proposal.

Staff has not yet received formal comment from the Benton County Fire Marshal. **The project shall be subject to Fire Code requirements provided by the Fire Marshal during the building permit review.**

**Site Services – Hazardous Chemical Storage**

In accordance with §4.6. B #5, all proposed commercial and industrial developments must submit written confirmation of hazardous materials to be used and stored on-site. Documentation is to be forwarded to the County Office of Emergency Services.

**The applicant shall submit documentation stating the location and type of storage of hazardous waste on site.**

**OUTSTANDING ITEMS:**

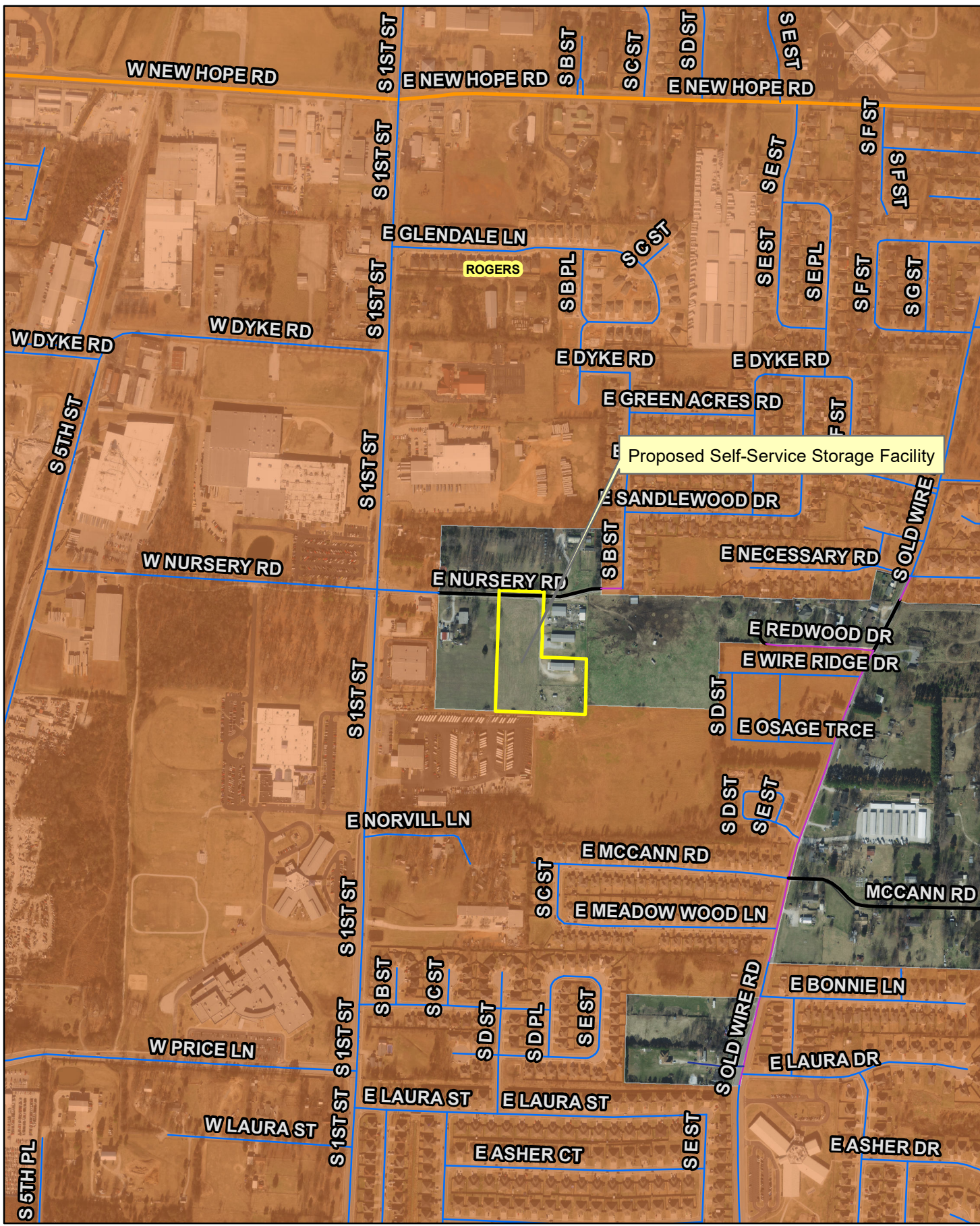
1. Retaining walls greater than 4.0-ft. in height are subject to and building permitting requirements including building setbacks.
2. Plans shall be revised to accurately detail standard and ADA compliant parking spaces; inclusive of an accurate Parking Table.
3. The site plan shall be revised to detail the required 10-ft. by 25-ft. loading/unloading area on site.
4. The current site plan shall provide the standard note that ‘all outdoor lights will be full cut-off lighting in accordance with IESNA requirements.’
5. The site plans shall be revised to detail the following:
  - a. Schematic showing continuous traffic flow throughout the facility
  - b. Width measurements for the existing access drive from the public right of way
    - i. Access drive width and weight capacity shall meet Fire Marshal requirements
  - c. Truck/Fire Apparatus turn templates for the access drive from Nursery Road, access drives into facility, and hammerhead turnaround
6. The developer shall obtain necessary State permits for construction site stormwater management and a County Stormwater Permit (SWP) prior to project initiation. The project engineer shall prepare a complete Stormwater Pollution Prevention Plan (SWPPP) in accordance with ADEQ’s Notice of Automatic Coverage Permit for sites less than 5.0-acres and the County’s Best Management Practices (BMPs) Manual.
7. Drainage report shall be revised to include a 1,000-ft. off-site drainage analysis in accordance with Chapter 4.
8. The applicant shall confirm the necessity of outdoor refuse containers and the location of such containers. The use of outdoor refuse containers requires written confirmation from the service provider and proper screening from adjacent properties and public right of way; additionally, the use of an outdoor refuse container requires the installation and maintenance of containment mechanisms to prevent stormwater contamination.
9. The project shall be subject to Fire Code requirements provided by the Fire Marshal during the building permit review.
10. The applicant shall provide written confirmation from the electric provider.
11. The applicant shall provide written confirmation from the utility provider. Capacity flow testing shall be submitted prior to building permit, as applicable by Fire Marshal.
12. The applicant shall submit documentation stating the location and type of storage of hazardous waste on site.

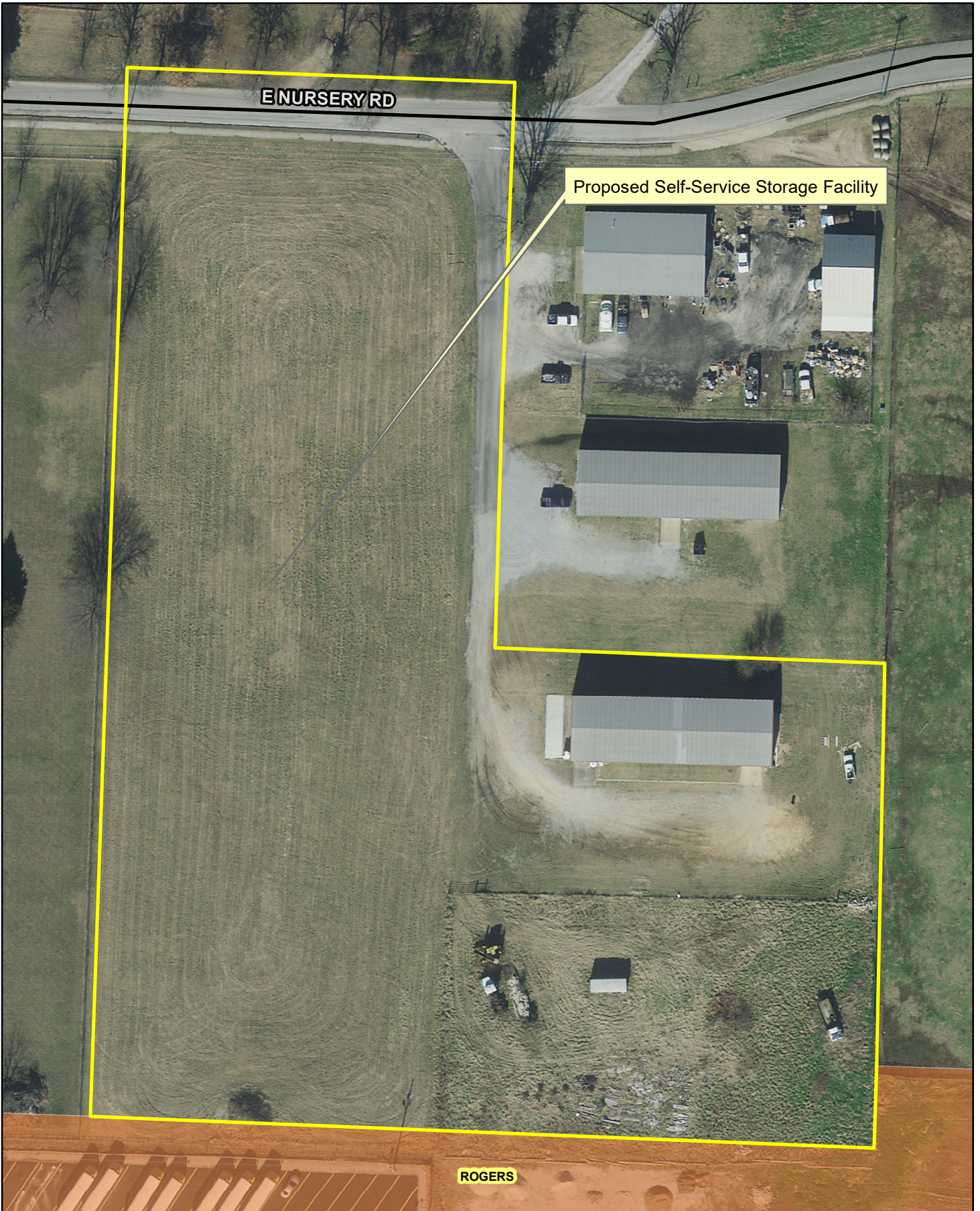
**CONSIDERATIONS FOR THE BOARD:**

- I. Bolin Self Service Storage Facility Site Plan Review, case no. 19-055 conditioned upon the following:
  1. Retaining walls greater than 4.0-ft. in height are subject to and building permitting requirements including building setbacks.
  2. Plans shall be revised to accurately detail standard and ADA compliant parking spaces; inclusive of an accurate Parking Table.
  3. The site plan shall be revised to detail the required 10-ft. by 25-ft. loading/unloading area on site.
  4. The current site plan shall provide the standard note that ‘all outdoor lights will be full cut-off lighting in accordance with IESNA requirements.’
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  8. The applicant shall confirm the necessity of outdoor refuse containers and the location of such containers. The use of outdoor refuse containers requires written confirmation from the service provider and proper screening from adjacent properties and public right of way; additionally, the use of an outdoor refuse container requires the installation and maintenance of containment mechanisms to prevent stormwater contamination.
  9. The project shall be subject to Fire Code requirements provided by the Fire Marshal during the building permit review.
  10. The applicant shall provide written confirmation from the electric provider.
  11. The applicant shall provide written confirmation from the utility provider. Capacity flow testing shall be submitted prior to building permit, as applicable by Fire Marshal.
  12. The applicant shall submit documentation stating the location and type of storage of hazardous waste on site.
  13. The project adheres to the Standard Conditions of Site Plan Review

**Prepared by:** Taylor Reamer – Planning Director

**Reviewed by:** Tracy Backs – County Planner







# PROPOSED STORAGE UNITS

ROGERS, ARKANSAS

PREPARED FOR:

SCHERRIE BOLIN

(479) 636-5482

14541 WOODS LODGE

ROGERS, AR 72756-8830

## PLAN INDEX

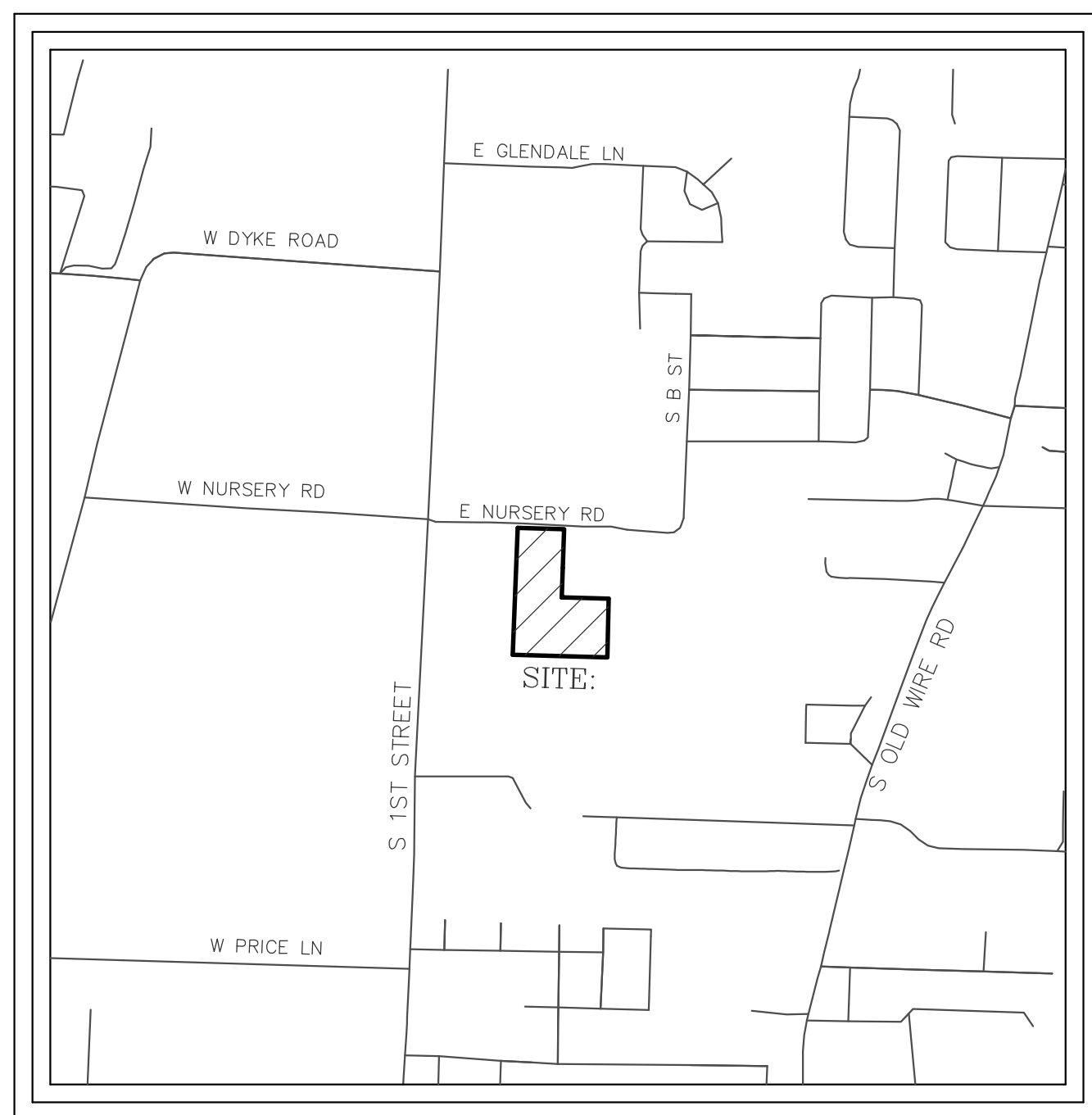
1. SITE PLAN
2. GRADING PLAN/S.W.P.P. & LANDSCAPING
3. CROSS SECTIONS & DETAILS

## SITE ADDRESS

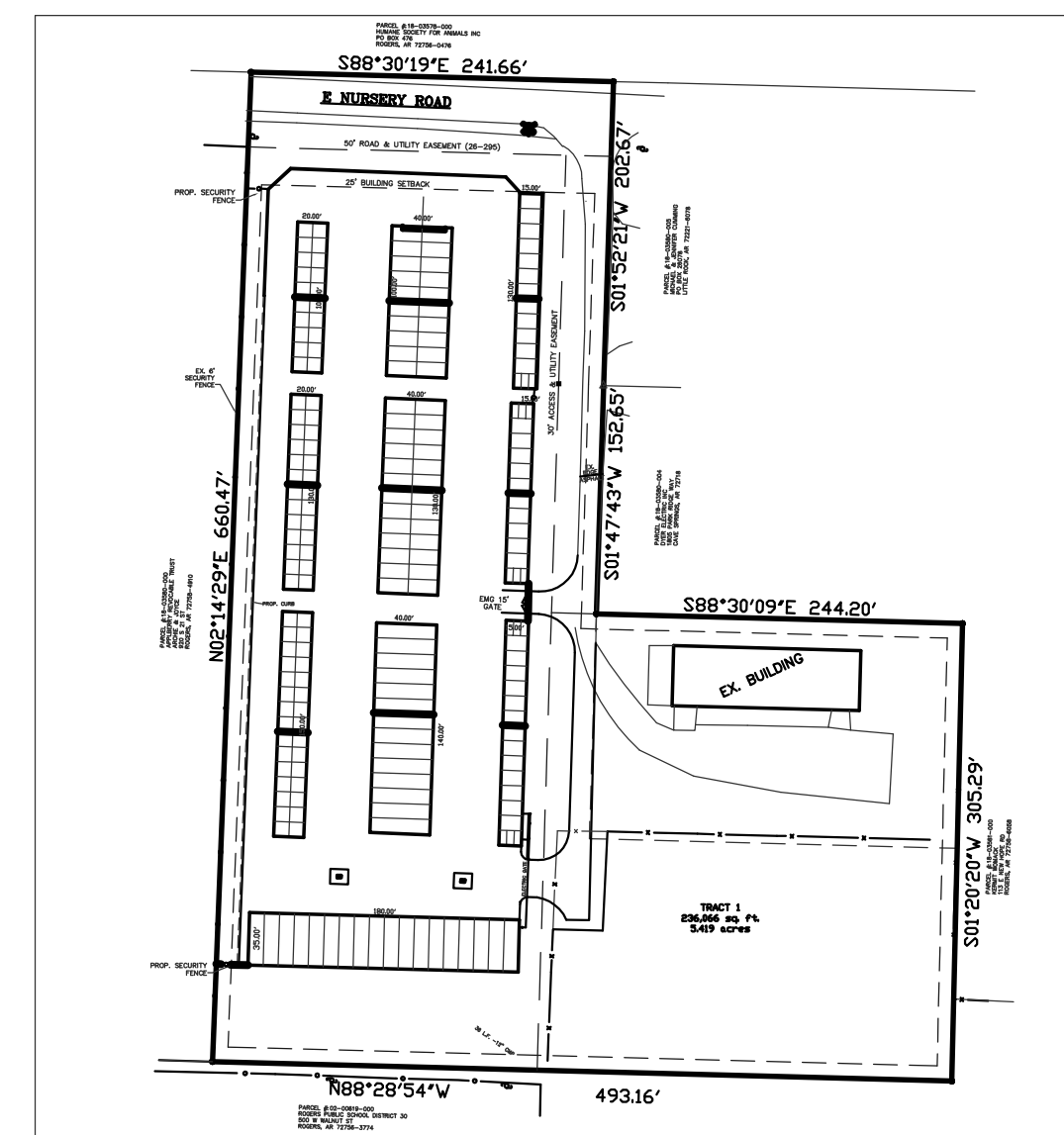
414 E NURSERY RD  
ROGERS, AR 72756

MARCH 5, 2019

JOB #2018227



*Vicinity Map*



*Site Layout*

## CONTACT INFORMATION

**WATER**  
ROGERS WATER UTILITIES  
601 S 2ND STREET  
ROGERS, AR 72756  
PHONE: (479) 621-1142

**ELECTRIC**  
CARROLL ELECTRIC CO-OP  
707 S.E. WALTON BLVD.  
BENTONVILLE, AR  
PHONE: (479) 273-2421

**TELEPHONE**  
AT&T  
PHONE: (479) 549-0000

## FLOOD CERTIFICATE

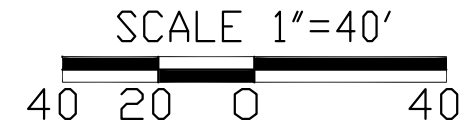
THIS PROPERTY IS NOT IN FLOOD ZONE "A" OR "AE," AND IS OUTSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05007C0290 K, EFFECTIVE DATE JUNE 5, 2012.

273-7989  
OR  
366-7989

**CONSULTING  
INC.**

P.O. BOX 223  
BENTONVILLE, AR 72712

PARCEL #18-03578-000  
 HUMANE SOCIETY FOR ANIMALS INC  
 PO BOX 476  
 ROGERS, AR 72756-0476

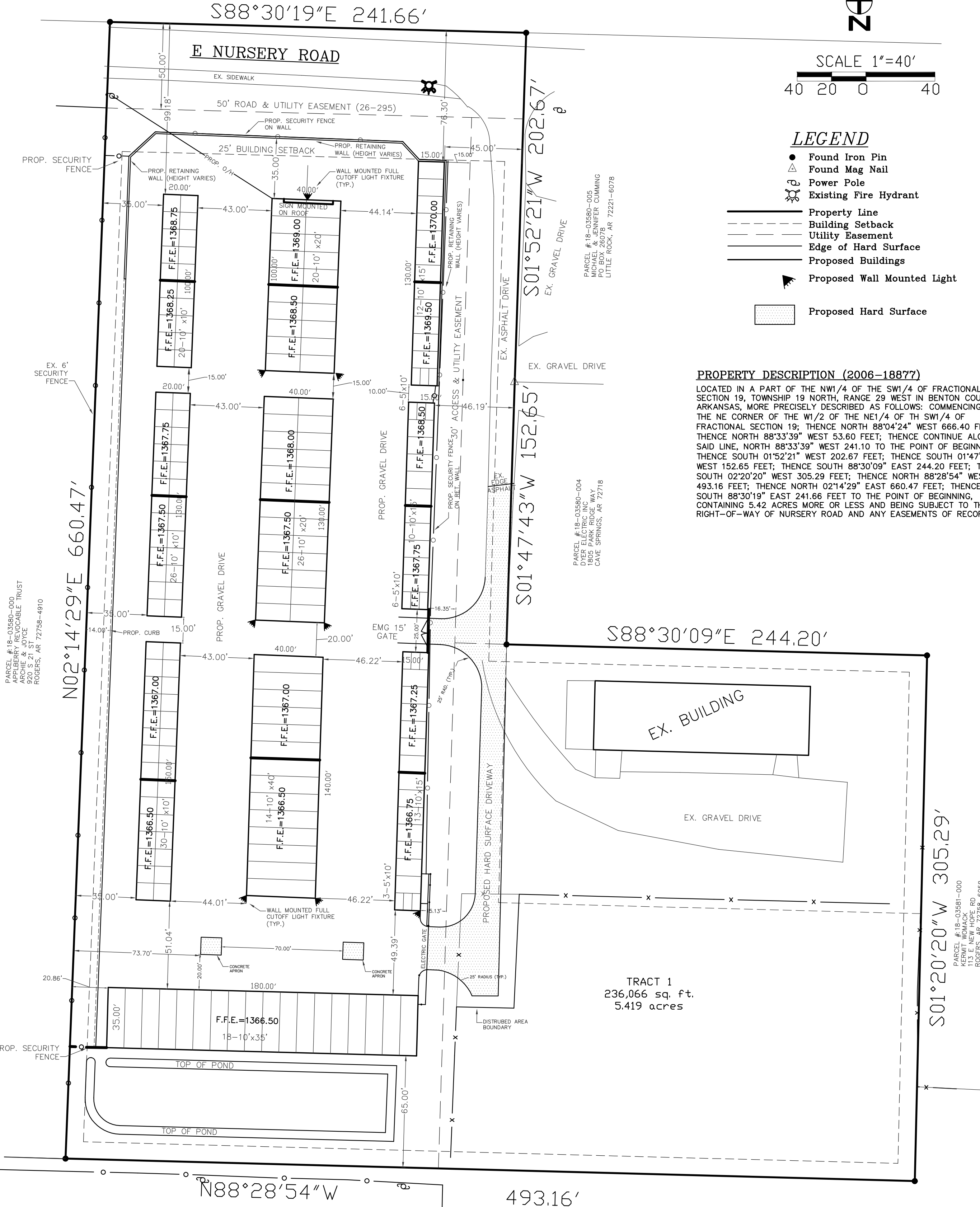


**LEGEND**

- Found Iron Pin
- △ Found Mag Nail
- Power Pole
- ⊗ Existing Fire Hydrant
- Property Line
- - - Building Setback
- - - Utility Easement
- Edge of Hard Surface
- ▭ Proposed Buildings
- ▲ Proposed Wall Mounted Light
- ▨ Proposed Hard Surface

**PROPERTY DESCRIPTION (2006-18877)**

LOCATED IN A PART OF THE NW1/4 OF THE SW1/4 OF FRACTIONAL SECTION 19, TOWNSHIP 19 NORTH, RANGE 29 WEST IN BENTON COUNTY, ARKANSAS, MORE PRECISELY DESCRIBED AS FOLLOWS: COMMENCING AT THE NE CORNER OF THE W1/2 OF THE NE1/4 OF TH SW1/4 OF FRACTIONAL SECTION 19; THENCE NORTH 88°04'24" WEST 666.40 FEET; THENCE NORTH 88°33'39" WEST 53.60 FEET; THENCE CONTINUE ALONG SAID LINE, NORTH 88°33'39" WEST 241.10 TO THE POINT OF BEGINNING; THENCE SOUTH 01°52'21" WEST 202.67 FEET; THENCE SOUTH 01°47'43" WEST 152.65 FEET; THENCE SOUTH 88°30'09" EAST 244.20 FEET; THENCE SOUTH 02°20'20" WEST 305.29 FEET; THENCE NORTH 88°28'54" WEST 493.16 FEET; THENCE NORTH 02°14'29" EAST 660.47 FEET; THENCE SOUTH 88°30'19" EAST 241.66 FEET TO THE POINT OF BEGINNING, CONTAINING 5.42 ACRES MORE OR LESS AND BEING SUBJECT TO THE RIGHT-OF-WAY OF NURSERY ROAD AND ANY EASEMENTS OF RECORD.



PARCEL #18-03580-004  
 ELECTRIC INC  
 1805 PARKWAY  
 CAVE SPRINGS, AR 72718

PARCEL #18-03581-000  
 WIMACK  
 1155 N. W. 10TH RD  
 ROGERS, AR 72756-6058

PARCEL #02-00619-000  
 ROGERS PUBLIC SCHOOL DISTRICT 30  
 500 W WALNUT ST  
 ROGERS, AR 72756-3774

TRACT 1  
 236,066 sq. ft.  
 5.419 acres

**BOLIN STORAGE UNITS**  
 414 E NURSERY RD  
 ROGERS, AR 72756

- PROPOSED UNITS**
- 15 - 5' x 10'
  - 76 - 10' x 10'
  - 35 - 10' x 15'
  - 46 - 10' x 20'
  - 18 - 10' x 35'
  - 14 - 10' x 40'
- 204 UNITS**

**DISTURBED AREA:**  
 SITE AREA: 5.42 ACRES  
 DISTURBED AREA: 3.50 ACRES

**TOTAL 34,700 SQ. FT.**

SITE PLAN		REVISIONS	
No.:	BY:	DATE:	
OWNER: SCHERRIE BOLIN 14540 WOODS LODGE RD ROGERS, AR 72756-8830			
DRAWN BY: ZS		DATE: 3/5/19	
CHECKED BY: ZS		JOB No.:	2018227
SCALE: 1"=40'		SHEET:	1

273-7889  
 OR  
 386-7889

**CONSULTING INC.**  
 P.O. BOX 223  
 BENTONVILLE, AR 72712

PARCEL #18-03578-000  
 HUMANE SOCIETY FOR ANIMALS INC  
 PO BOX 476  
 ROGERS, AR 72756-0476



SCALE 1"=40'  
 40 20 0 40

**LEGEND**

- Found Iron Pin
- △ Found Mag Nail
- Power Pole
- ⊗ Existing Fire Hydrant
- Existing Grade
- Proposed Grade
- Edge of Hard Surface
- X --- Prop. Silt Fence
- X --- Prop. Construction Fence
- ⊙ Proposed Small Trees
- ⊙ Proposed Small Shrubs

**GRADING NOTES**

- 1.) THE OWNER SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL AND GRADING PERMITS.
- 2.) ALL DISTURBED SURFACES NOT GRAVELED AND NEW SLOPES SHALL BE GRADED SMOOTH AND TOP SOILED SEEDED / SODDED, AND WATERED UNTIL GROWTH IS ESTABLISHED.
- 3.) THE FILL NEEDS TO BE PLACED AS ENGINEERED COMPACTED FILL AT 90% COMPACTION.

**STANDARD NOTES**

1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED.
2. ALL SEDIMENT AND EROSION CONTROL DEVICES (INLET PROTECTION) SHALL BE INSPECTED EVERY SEVEN (7) DAYS OR WITHIN TWENTY-FOUR (24) HOURS AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-HALF (0.5) INCH. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY.
3. PROVIDE SILT FENCE AND/OR OTHER EROSION CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND SEEDED WITH PERMANENT VEGETATION IMMEDIATELY AFTER THE UTILITY INSTALLATION.
4. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION. ALL TEMPORARY INLET PROTECTION DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS SEEDING AND VEGETATION IS COMPLETE.
5. THE GRADING DRAWING MAY NOT SHOW ALL OF THE EROSION CONTROL DEVICES THAT WILL BE REQUIRED ON THIS PROJECT. IF AT ANY TIME BEFORE FINAL STABILIZATION HAS BEEN ESTABLISHED IT IS NOTICED THAT SEDIMENTATION IS LEAVING THE SITE IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT EROSION CONTROL DEVICES TO CONTAIN THE SEDIMENT.
6. AT ANY TIME BEFORE FINAL STABILIZATION HAS BEEN ESTABLISHED THE ENGINEER, A REPRESENTATIVE OF THE ENGINEER, CITY OFFICIAL, OR A STATE OFFICIAL MAY INSTRUCT THAT A NEW EROSION CONTROL MEASURE THAT IS NOT SHOWN ON THE PLANS IS NEEDED IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO INSTALL THE EROSION CONTROL DEVICE AS SOON AS POSSIBLE.

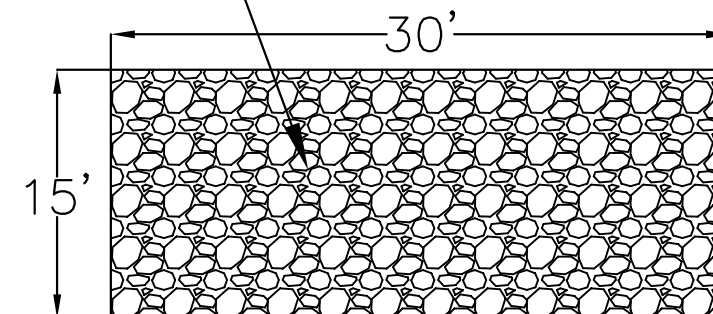
**SEEDING RATE:**

ANY AREA WHERE CONSTRUCTION HAS STOPPED FOR 14 OR MORE DAYS AND UPON FINAL COMPLETION OF THE PROJECT ALL DIRT SHALL BE SEEDED WITH RYE GRASS AT A RATE OF 3-4 POUNDS PER 1000 SQUARE FEET AND FESCUE GRASS AT A RATE OF 8 POUNDS PER 1000 SQUARE FEET. THE AREA MUST MAINTAINED AND WATERED BY THE CONTRACTOR UNTIL GRASS IS PERMANENTLY ESTABLISHED.

**DISTURBED AREA:**

SITE AREA: 5.42 ACRES  
 DISTURBED AREA: 3.50 ACRES

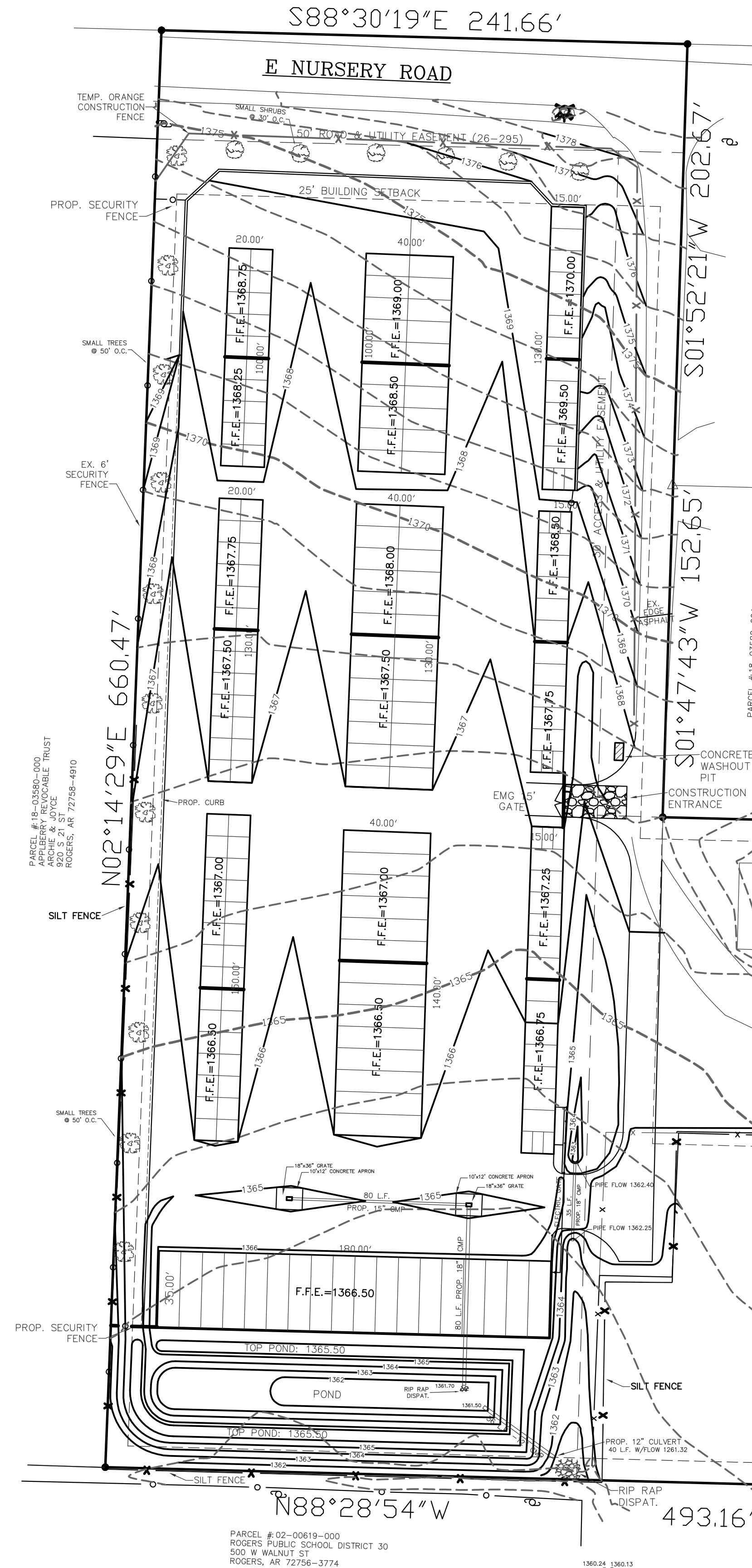
8" Thick pad of 3' - 6' Stone.  
 Remove silt and mud as necessary.



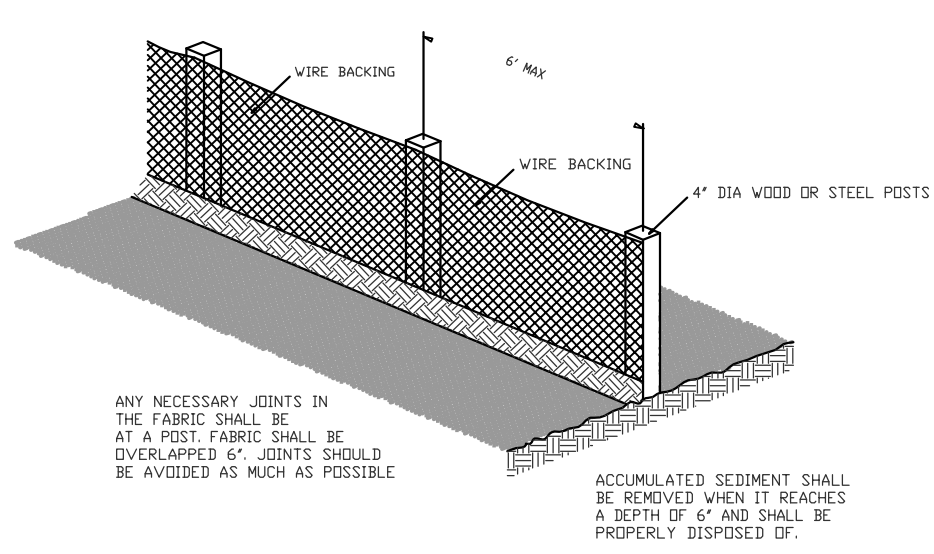
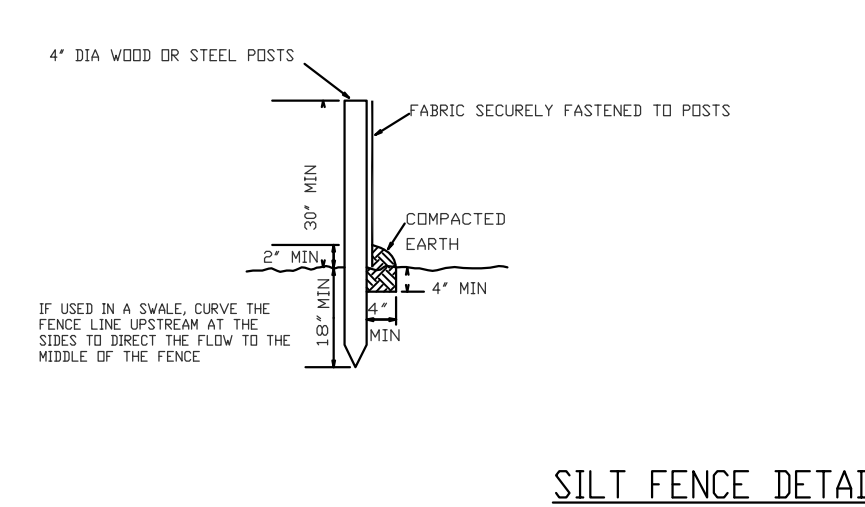
**STABILIZED CONSTRUCTION ENTRANCE & EXIT DETAIL**  
 N.T.S.

**BOLIN STORAGE UNITS**  
 414 E NURSERY RD  
 ROGERS, AR 72756

GRADING & S.W.P.P.P. & LANDSCAPING PLAN		REVISIONS	
No.:	BY:	DATE:	
OWNER:	SCHERRIE BOLIN		
	14540 WOODS LODGE RD		
	ROGERS, AR 72756-8830		
273-7889 OR 386-7889	CONSULTING INC.	DRAWN BY:	DATE: 3/5/19
		CHECKED BY:	JOB No.: 2018227
		SCALE:	SHEET: 2
			1"=40'



**CONTRACTOR'S NOTICE**  
 THE ARKANSAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT OF 1987 REQUIRES CONTRACTORS AND EXCAVATORS TO NOTIFY EACH UTILITY OPERATOR WHICH MIGHT HAVE LINES IN THE VICINITY OF A PLANNED EXCAVATION. THE REQUIREMENTS OF THE LAW CAN BE MET BY MAKING ONE TOLL-FREE CALL TO THE ARKANSAS ONE-CALL, 811, AT LEAST TWO (2), BUT NOT MORE THAN TEN (10), FULL WORKING DAYS BEFORE COMMENCING SUCH ACTIVITY



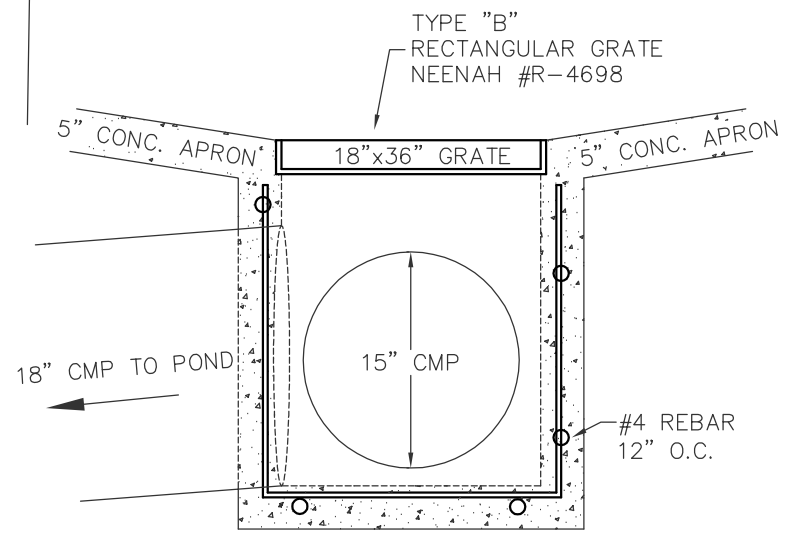
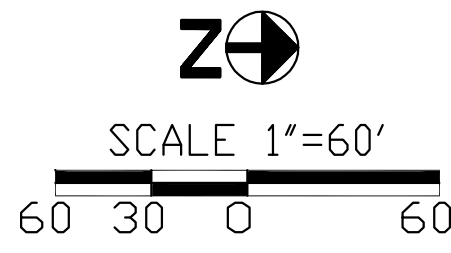
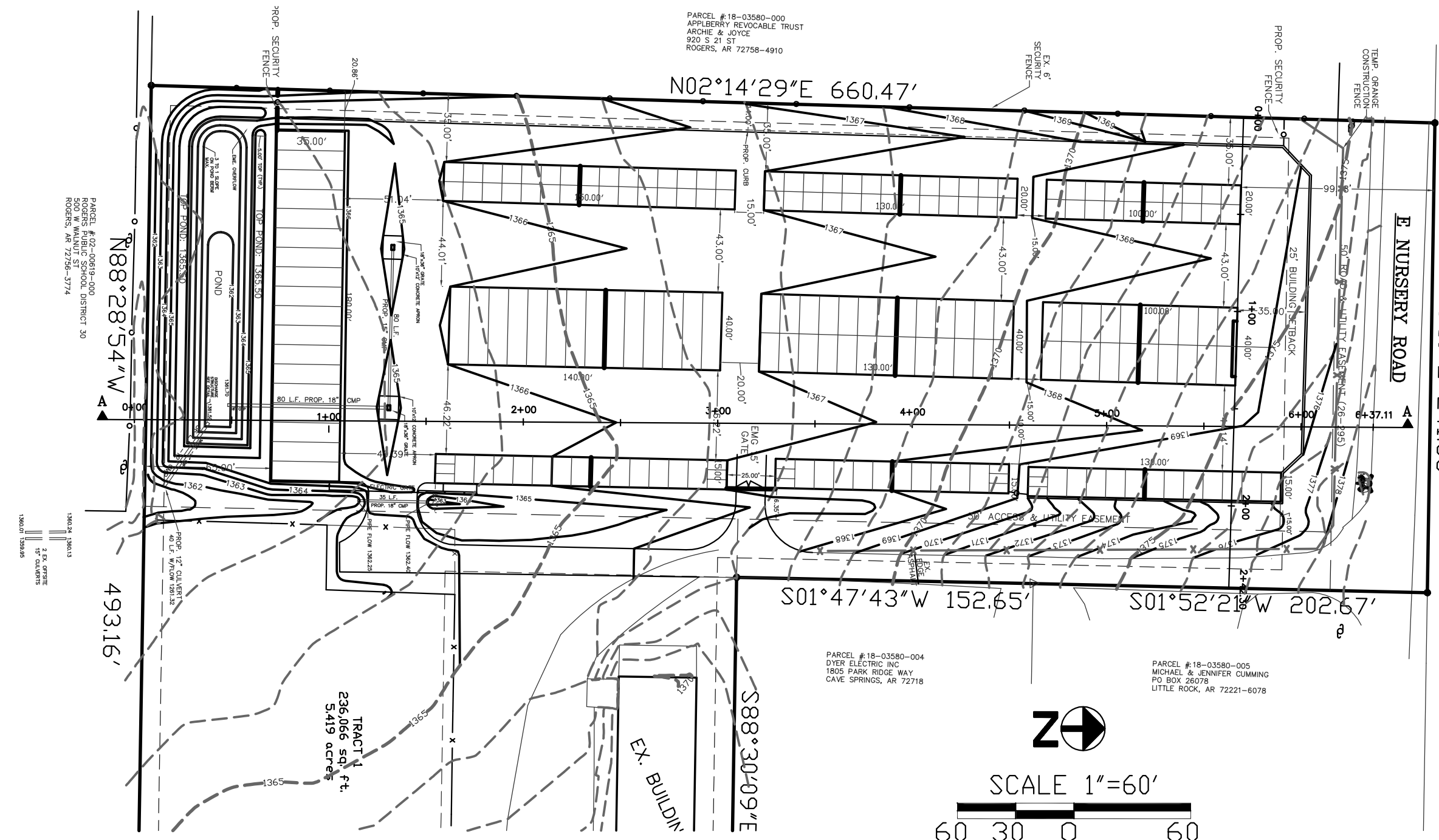
ANY NECESSARY JOINTS IN THE FABRIC SHALL BE AT A POST. FABRIC SHALL BE OVERLAPPED 6\"/>

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6\"/>

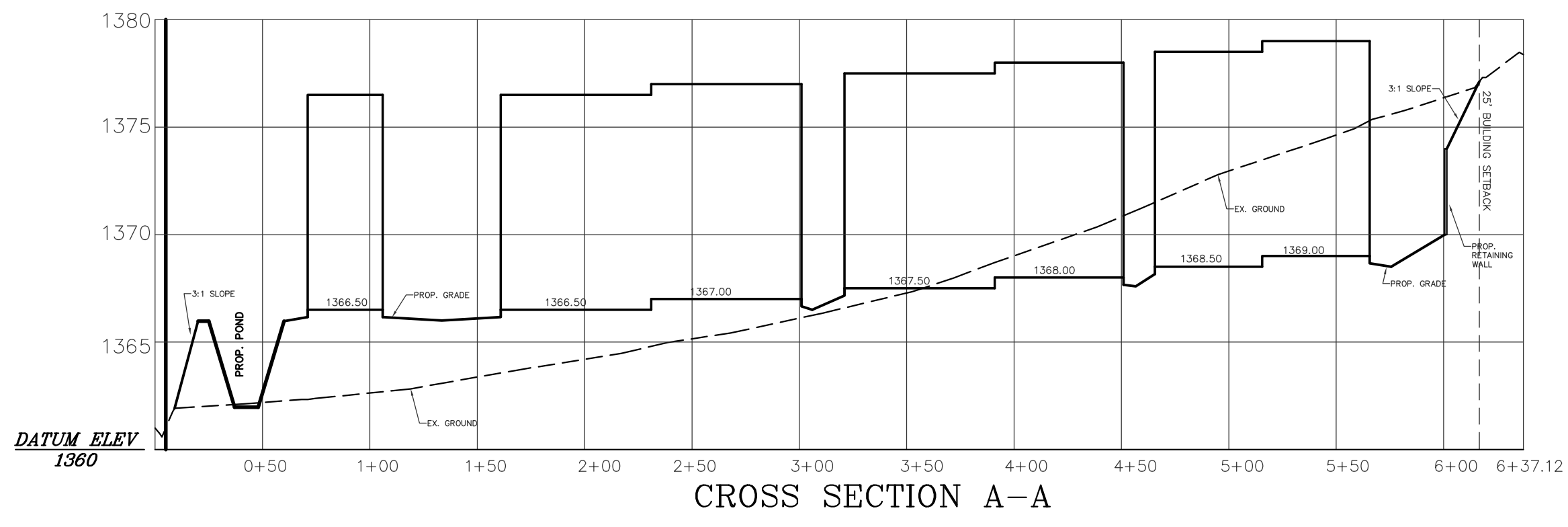
**SILT FENCE DETAIL**

**CONTRACTOR'S NOTICE**

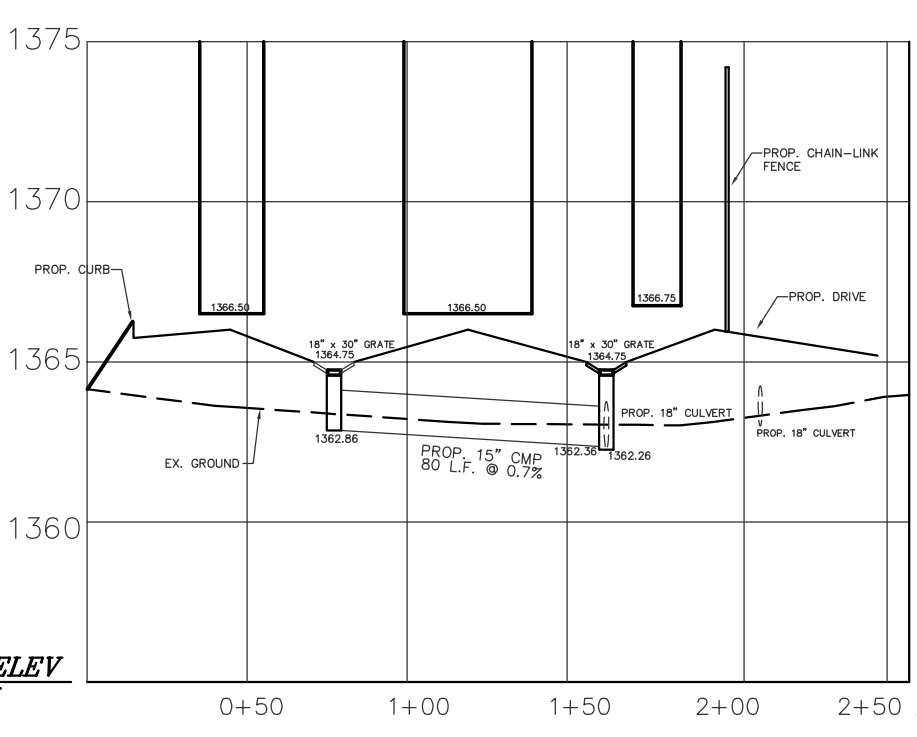
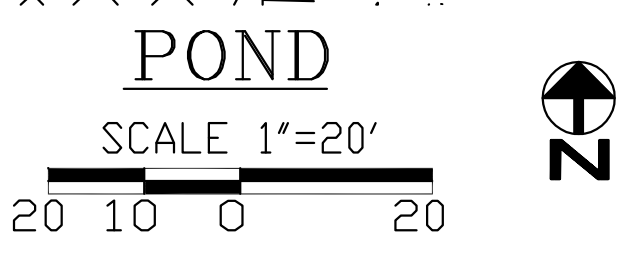
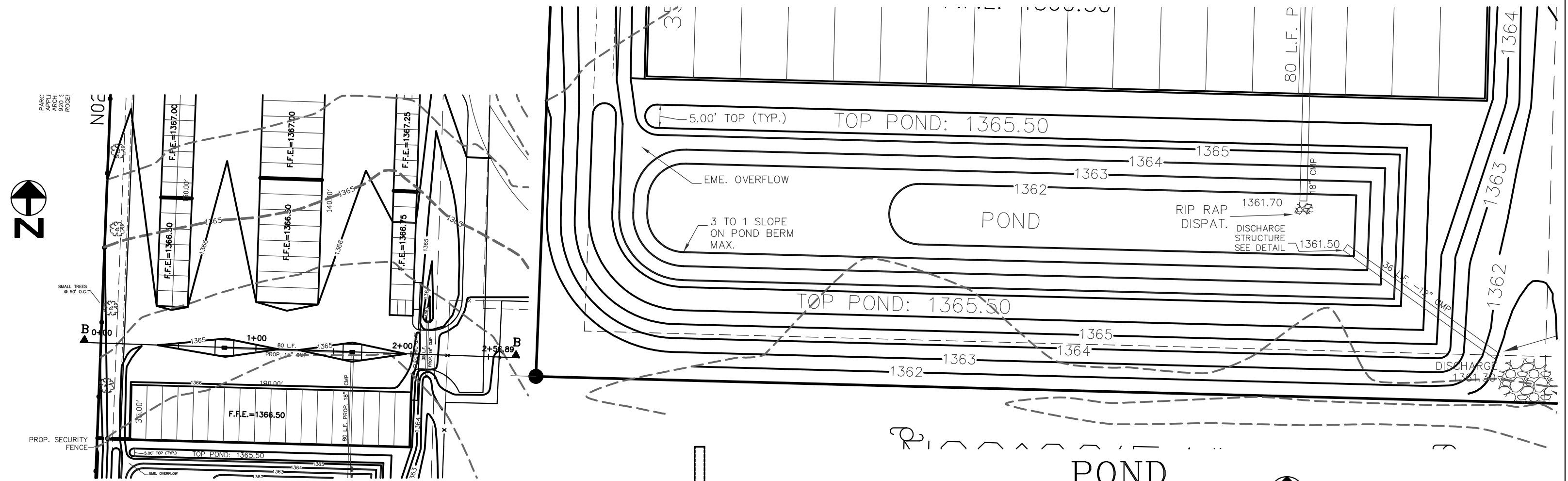
THE ARKANSAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT OF 1987 REQUIRES CONTRACTORS AND EXCAVATORS TO NOTIFY EACH UTILITY OPERATOR WHICH MIGHT HAVE LINES IN THE VICINITY OF A PLANNED EXCAVATION. THE REQUIREMENTS OF THE LAW CAN BE MET BY MAKING ONE TOLL-FREE CALL TO THE ARKANSAS ONE-CALL, 811, AT LEAST TWO (2), BUT NOT MORE THAN TEN (10), FULL WORKING DAYS BEFORE COMMENCING SUCH ACTIVITY



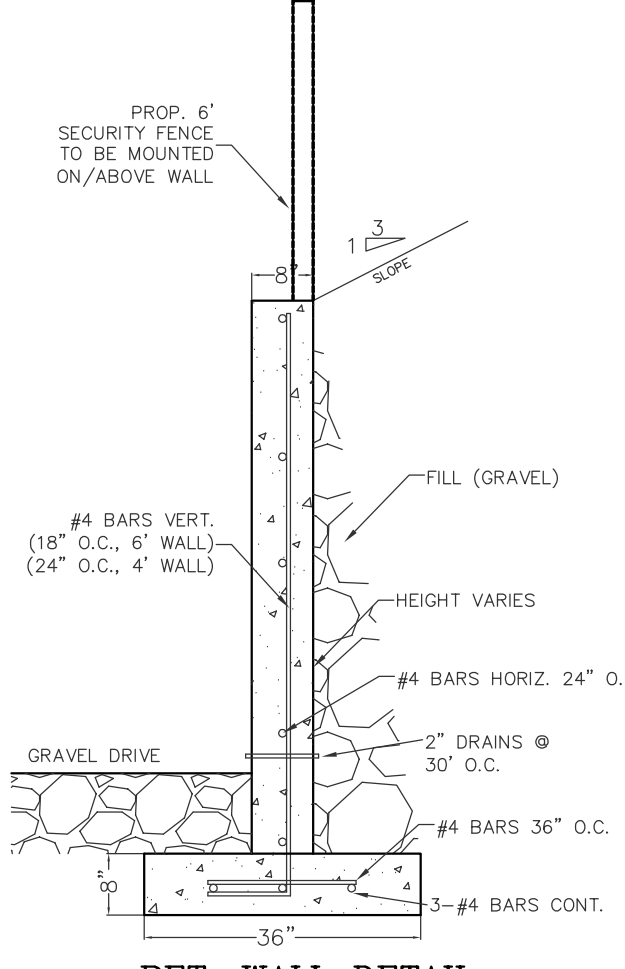
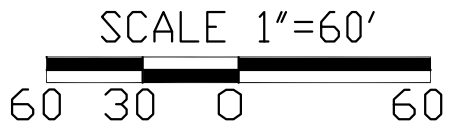
**RECTANGLE INLET DETAIL**  
3500 psi. CONC. NTS



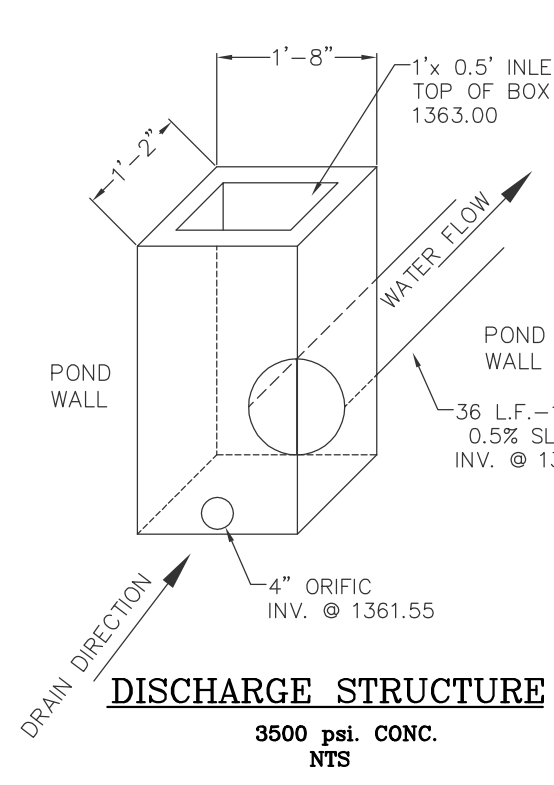
**CROSS SECTION A-A**



**CROSS SECTION B-B**



**RET. WALL DETAIL**  
3500 psi. CONC. NTS



**DISCHARGE STRUCTURE**  
3500 psi. CONC. NTS

**BOLIN STORAGE UNITS**  
414 E NURSERY RD

CROSS SECTIONS & DETAILS		REVISIONS	
No.:	BY:	DATE:	
OWNER:	SCHERRIE BOLIN	DATE:	3/5/19
	14540 WOODS LODGE RD	CHECKED BY:	ZS
	ROGERS, AR 72756-8830	SCALE:	VARIES
273-7989 OR 366-7989	CONSULTING INC.	R.O. BOX 223 BENTONVILLE, AR 72712	SHEET: 3