



Benton County Planning Board

Public Hearing Technical Advisory Committee Meeting

September 18, 2019

6:00 p.m.

Benton County Administration Building
215 East Central Avenue, 3rd floor
Bentonville, AR 72712

PUBLIC HEARING

1. **Call to Order**
2. **Roll Call**
3. **Disposition of Minutes:** Minutes for September 4, 2019
4. **General Public Comment**
5. **Old Business:** None
6. **New Business:**
 - I. DuRocher Setback Variance, case no. 19-188, 8585 Stoner Lane, Rogers; 15-11710-000
 - II. Terra Rose Properties, LLC Site Plan Review, case no. 19-191, 11427 North Highway 59, Gravette; 18-15179-000

TECHNICAL ADVISORY COMMITTEE

1. **Call to Order**
2. **Old Business/Ongoing Applications:** None
3. **New Business:**
 - I. Steinbroner Setback Variance, case no. 19-198, 18700 Coppermine Road, Rogers; 15-01719-000
4. **Other Business:** None
5. **Staff Updates - Administrative Approvals:**
 - I. Sims Minor Subdivision, case no. 19-156, Canal Street, Rogers; 18-04030-000
 - II. Holt Minor Subdivision, case no. 19-178, 23903 AR Highway 102, Maysville; 18-16368-000
 - III. Myers & Stogsdill Tract Split, case no. 19-186, 16390 Wann Road, Sulphur Springs; 18-16423-000
 - IV. Allred Minor Subdivision, case no. 19-194, Meadow Lane, Lowell; 15-04371-000
6. **Discussion Items:** None

Benton County Planning Board

Ashley Tucker, Chair
Stephen Torrez, Vice Chair
Ron Homeyer, Member
Bob Bracy, Member
Rick Williams, Member
Terry Maienschein, Member
Sean Collyge, Member



Benton County Planning Department

1204 SW 14th Street, Ste. 6
Bentonville, AR 72712
Phone: (479) 464-6166
Fax: (479) 464-6170

E-mail: taylor.reamer@bentoncountyar.gov

**VARIANCE REVIEW
PLANNER'S PUBLIC HEARING REPORT
DuRocher Setback Variance
8585 Stoner Lane, Rogers**

EXECUTIVE SUMMARY

The property owner proposes to construct an attached garage to the existing dwelling (8585 Stoner Lane). The addition's location is proposed within the County required 10-ft. side yard building setback on the southern property line. The property owner is requesting a setback variance from the 10-ft. setback requirement as follows: The proposed garage addition to the existing dwelling to be located 5-ft. from side southern property line in lieu of the required 10-ft.

PROJECT INFORMATION

Owner: Connie DuRocher

Address of subject property (as assigned): 8585 Stoner Lane, Rogers

Parcel IDs: 15-11710-000

Parcel Area: 0.67 +/- acres

Current Land Use(s): Low/Medium Density Residential (Single Family Residential)

Proposed Land Use(s): Low/Medium Density Residential (Single Family Residential – Building Setback Variance)

Attachments: The following drawings and documents are attached:

1. Vicinity Graphic
2. Context Map
3. Site Aerial
4. Applicant's Site Plans and Justification Statement

PLANNING ANALYSIS

Description of Property and Surrounding Area:

The subject property consists of a 0.6-acre parcel located on the west side of Stoner Lane, located east of the city of Rogers. The subject property is within Dream Valley Number 11 Subdivision in the Prairie Creek Property Owners Association. Primary vehicular access is proposed via an existing drive from the public right of way (Stoner Lane). The property is not located within the FEMA 100-yr. floodplain, but is within County designated Urbanized MS4 Stormwater area. The immediately surrounding land uses are as follows:

- North: Single Family Residential
- East: Single Family Residential
- South: Single Family Residential
- West: Single Family Residential

Background information:

The applicant submitted a Variance application and accompanying information meeting Staff's requirements. On August 27th, 2019, an inter-departmental review form was sent to the following agencies: Planning Department, Health Dept., Road Dept., Building Dept., Fire Marshal, Assessor's GIS Mapping Manager, and Benton County E-911 Administration.

The project is scheduled to appear before the Planning Board for Technical Advisory Committee on September 4th, 2019.

TECHNICAL REVIEW OF SITE PLAN

Parcel Information:

Site inspection and research against State assessment records show the property as containing one residentially assessed improvement.

Noticing Requirements:

On September 3rd, 2019, the applicant submitted USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the September 18th Public Hearing.

On September 3rd, 2019, the applicant submitted the required photographs verifying that the required public hearing notice signage along the property's frontage has been conspicuously posted on site.

Standard Building Setbacks:

Required: Fifty (50) feet measured from the center line of the fronting road (Stoner Lane) or twenty-five (25) feet from the fronting property lines, whichever is greater is required; A side and rear yard, building to property line setback of ten (10) feet is required.

Comments: The submitted site plans detail the existing property lines and required setbacks, and the proposed residential addition encroaching 5-ft. into the 10-ft. side yard setback requirement.

Access Driveways/Internal Circulation:

Required: The design and construction shall be in accordance with the standards as presented in the Benton County Road Plan.

Comment: The site fronts along a County maintained roadway. The applicant proposes to utilize an existing access drive from the public right-of-way, Stoner Lane. The property owner shall obtain proper permitting for any activity or additional access drives connecting to the County right of way.

Site Services - Drainage/ Stormwater Management Plan:

Required: Applicant is required to indicate on plan storm drainage infrastructure and to provide an off-site drainage study. If study indicates an increase in peak flow discharge downstream, the developer shall construct a detention facility or an alternative LID methodology that shall control the peak runoff rate. The County also recommends minimizing impervious surface to limit the need for such facilities.

Comment: The subject property is located in an MS4 stormwater area. The property owner shall provide grading and erosion control plans detailing the following:

1. Improvement plans for the proposed addition
2. Grading/excavation plans for the addition
3. BMP plan for stormwater management, good housekeeping, and post construction stabilization

Prior to building permit, the property owner and/or cognizant official overseeing the job site shall complete the grading and erosion control permitting process.

Site Services – Septic System:

Required: Regardless of development size, a state-approved septic disposal method is required of all commercial and industrial developments. All disposal system criteria must meet or exceed septic requirements as established by the Arkansas Department of Health (ADH) in accordance with Act 402 of 1977 as amended.

Comment: The existing dwelling is serviced by an individual septic system permitted by the Arkansas Department of Health in 2002. The system is located to the rear of the lot behind the existing and proposed improvements.

OUTSTANDING ITEMS:

1. Property owner to provide site plan and/or documentation of all utilities located with the southern 10-ft. side yard building setback and utility easement.
2. Stormwater Management:
 - a. The property owner shall provide site plans detailing the following:
 - i. Improvement plans for the proposed addition
 - ii. Grading/excavation plans for the addition
 - iii. BMP plan for stormwater management, good housekeeping, and post construction stabilization
 - b. Prior to building permit, the property owner and/or cognizant official overseeing the job site shall complete the stormwater permitting process.

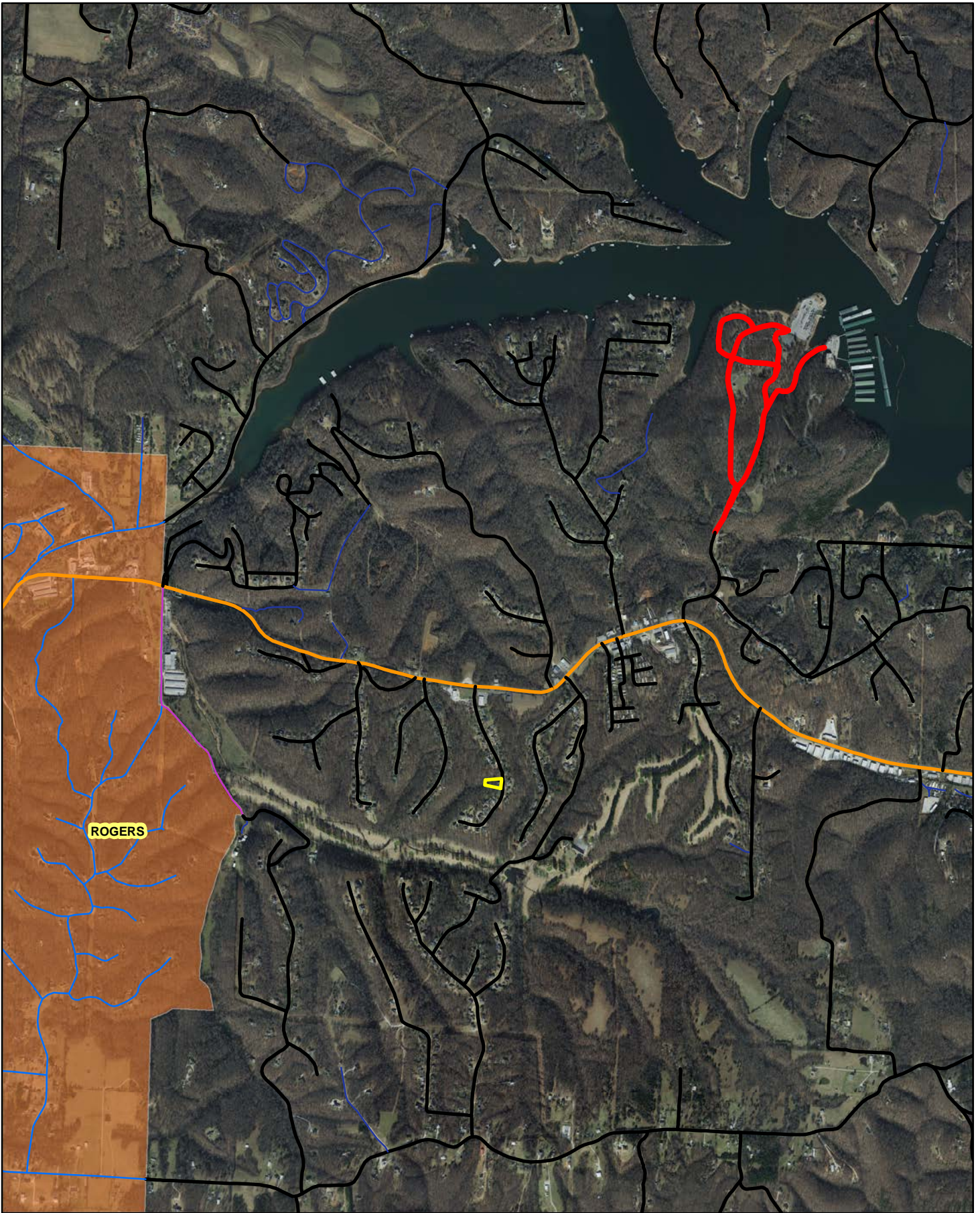
CONSIDERATION FOR THE BOARD:

1. DuRocher Setback Variance, case no. 19-188 conditioned upon the following;
 - I. Property owner to provide site plan and/or documentation of all utilities located with the southern 10-ft. side yard building setback and utility easement.
 - II. Stormwater Management:
 - a. The property owner shall provide site plans detailing the following:
 - i. Improvement plans for the proposed addition
 - ii. Grading/excavation plans for the addition
 - iii. BMP plan for stormwater management, good housekeeping, and post construction stabilization
 - b. Prior to building permit, the property owner and/or cognizant official overseeing the job site shall complete the stormwater permitting process.

Prepared by: Taylor Reamer – Planning Director

Reviewed by: Tracy Backs – County Planner

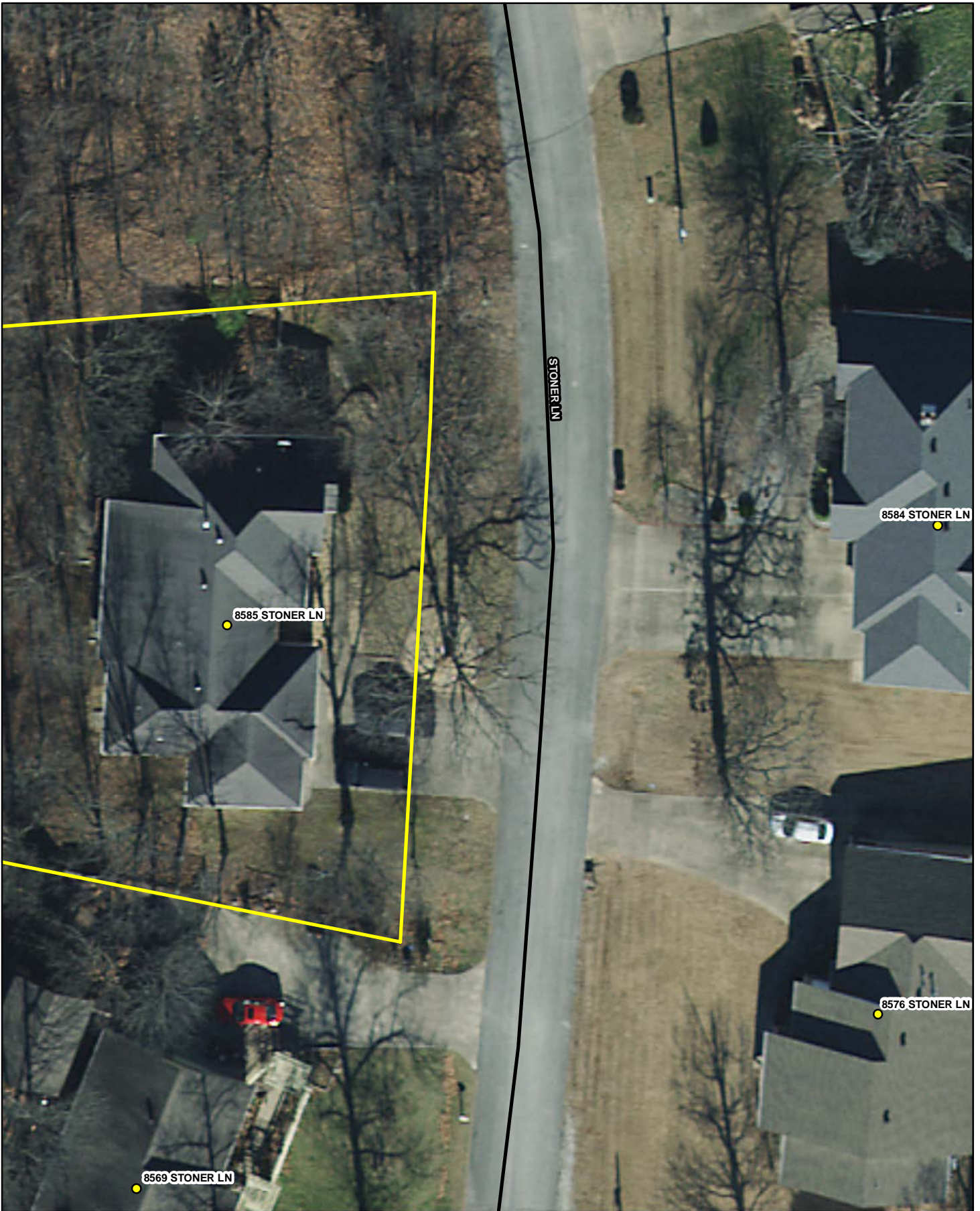
DuRocher Vicinity Map
8585 Stoner Lane, Rogers



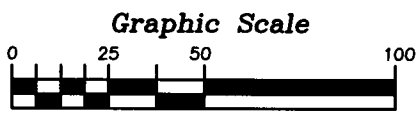
DuRocher Site Graphic
8585 Stoner Lane, Rogers



DuRocher Vicinity Map
8585 Stoner Lane, Rogers

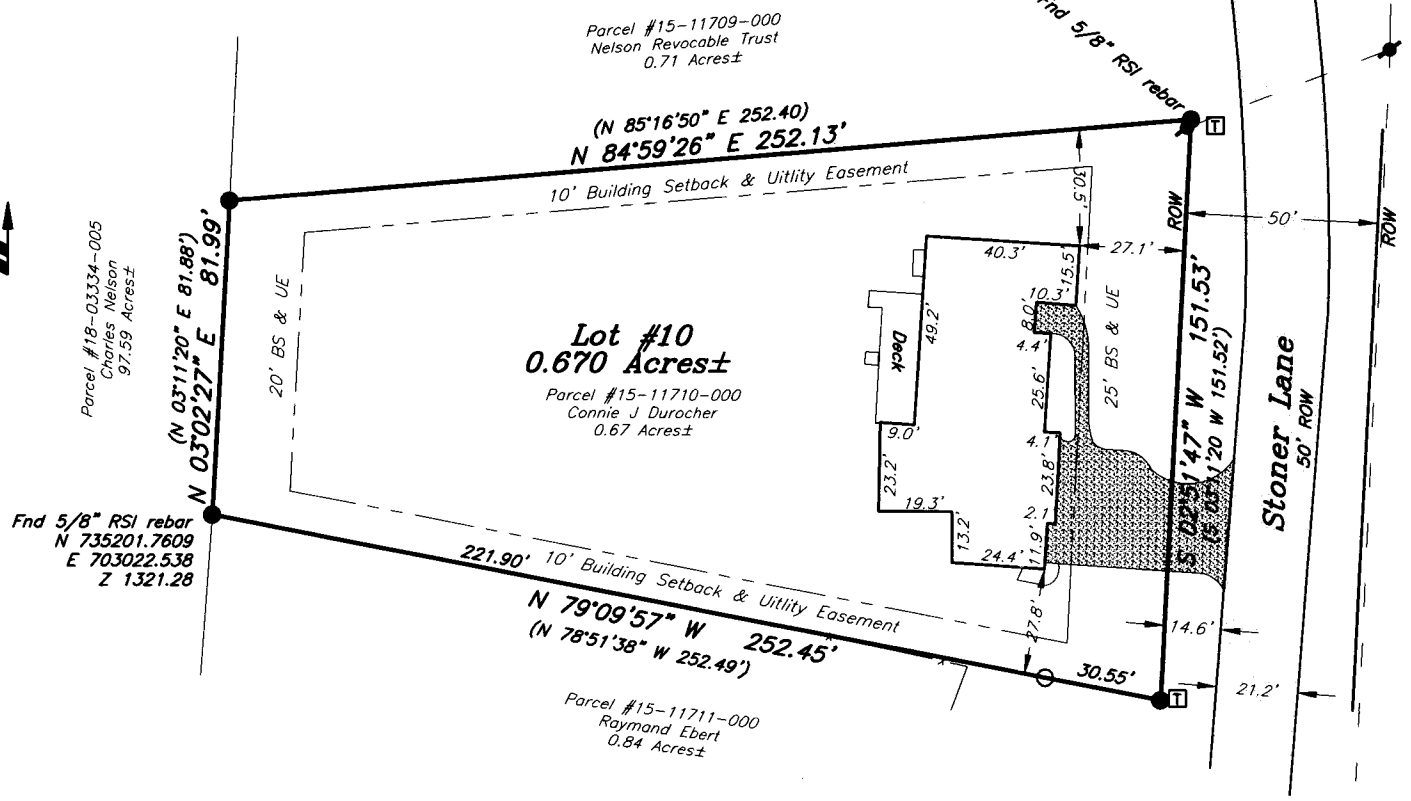


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LEGEND

- Found 5/8" Rebar
- Set 5/8" Rebar
- ⊙ MAG Nail
- ⊠ Gas Meter
- ⊞ Telephone Pedestal
- ⊟ Power Pole
- ⊠ Electric Box
- ⊗ Water Meter
- Property Boundary
- - - Fence
- - - Utility Easement and Building Setback
- - - Overhead Electric



Survey Description

All of Lot 10 of Dream Valley No. 11 in Benton County, Arkansas as recorded in Plat Record 18-11 in the Circuit Clerk's Office in Bentonville.

Surveyor's Certification


To Jeff DuRocher: This is to certify that an accurate survey was made of the hereon-described property and that this plat is the results of that survey. The land was surveyed under the supervision of Jim Ramsey, PS #1227, with a plat of said survey filed in the Benton County Circuit Clerk's office in Bentonville, Arkansas.
FLOOD CERTIFICATION: According to this survey, no part of the above described land appears to lay in a known flood area, according to FIRM Community Panel number 05007C0280 K, effective date, June 5 2012. The property surveyed is located in Zone X. A search for recently completed LOMAs effecting the location of the flood zone has not been completed at this time. This survey was completed on June 26, 2019. This plat was completed on July 1, 2019.

Surveyor's Notes:

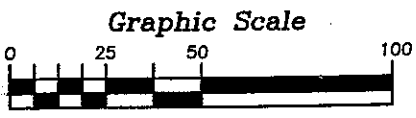
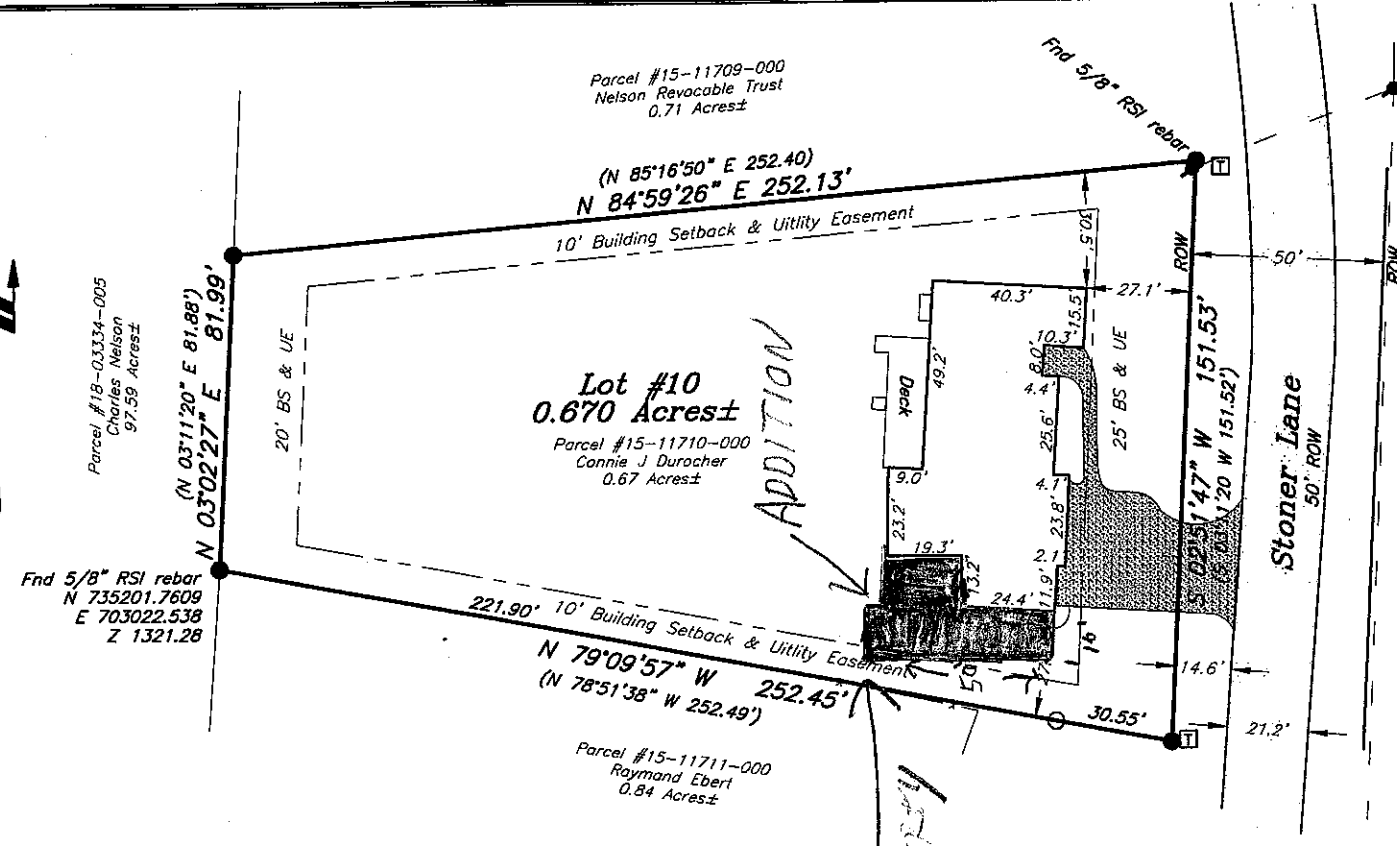
1. In providing this survey, no attempt has been made to show data concerning location, size, depth, condition or capacity of underground utilities existing on site. Only visible utilities have been located on this survey.
2. No abstract of title, nor title commitment, or results of a title search were furnished to the surveyor. All documents of record reviewed are noted hereon. There may exist other documents of record that affect this surveyed parcel.
3. Ramsey Surveying, Inc. has made no additional investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
4. Basis of bearings is Grid North according to the Arkansas Coordinate System, North Zone, derived from GPS RTK method. Record bearings in parentheses are according to Plat Record 18-11.
5. This plat represents a survey of Parcel #15-11710-000.
6. The purpose of this survey is to mark the property corners and to show visible improvements.
7. Horizontal coordinates shown on this survey were established by GPS RTK method and are based on NAD 83 datum, City of Bentonville Reference Station. Elevations shown on this survey were established by GPS RTK method and are based on NAVD 88 datum, City of Bentonville Reference Station. This survey used a combined scale factor of 0.999961783 with a convergence angle of -1'12.12.17677" calculated at N 735342 E 703223 Z 1349.

User Name: LARA
 CERTIFICATE OF RECORD
 STATE OF ARKANSAS, COUNTY OF BENTON
 I hereby certify that this instrument was
 filed and recorded in the Official Records
 L201940876 8/8/2019 11:03:35 AM
 Brenda DeShields, Circuit Clerk
 BENTON CO, AR FEE \$15.00



 RAMSEY SURVEYING, INC. 1729 West Poplar Street Rogers, Ar. 72758 www.ramseysurveying.com			
		Job: Lot Survey For Jeff DuRocher	
Scale 1"=50'		Drawn By: SWP	
Date: 7/01/19		Rev:	
Location: Lot 10 Dream Valley No. 11			
Jim F. Ramsey PS #1227 478-631-6663		Job Number: 19128	

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LEGEND

- Found 5/8" Rebar
- Set 5/8" Rebar
- ⊙ MAG Nail
- ⊕ Gas Meter
- ⊞ Telephone Pedestal
- ⚡ Power Pole
- ⊞ Electric Box
- ⊗ Water Meter
- Property Boundary
- - - Fence
- - - Utility Easement and Building Setback
- - - Overhead Electric

6' TO PROPERTY LINE



Survey Description

All of Lot 10 of Dream Valley No. 11 in Benton County, Arkansas as recorded in Plat Record 18-11 in the Circuit Clerk's Office in Bentonville.

Surveyor's Certification

To Jeff DuRocher: This is to certify that an accurate survey was made of the hereon-described property and that this plat is the results of that survey. The land was surveyed under the supervision of Jim Ramsey, PS #1227, with a plat of said survey filed in the Benton County Circuit Clerk's office in Bentonville, Arkansas.

FLOOD CERTIFICATION: According to this survey, no part of the above described land appears to lay in a known flood area, according to FIRM Community Panel number 05007C0280 K, effective date, June 5 2012. The property surveyed is located in Zone X. A search for recently completed LOMAs effecting the location of the flood zone has not been completed at this time. This survey was completed on June 26, 2019. This plat was completed on July 1, 2019.

Surveyor's Notes:

1. In providing this survey, no attempt has been made to show data concerning location, size, depth, condition or capacity of underground utilities existing on site. Only visible utilities have been located on this survey.
2. No abstract of title, nor title commitment, or results of a title search were furnished to the surveyor. All documents of record reviewed are noted hereon. There may exist other documents of record that affect this surveyed parcel.
3. Ramsey Surveying, Inc. has made no additional investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
4. Basis of bearings is Grid North according to the Arkansas Coordinate System, North Zone, derived from GPS RTK method. Record bearings in parentheses are according to Plat Record 18-11.
5. This plat represents a survey of Parcel #15-11710-000.
6. The purpose of this survey is to mark the property corners and to show visible improvements.
7. Horizontal coordinates shown on this survey were established by GPS RTK method and are based on NAD 83 datum, City of Bentonville Reference Station. Elevations shown on this survey were established by GPS RTK method and are based on NAVD 88 datum, City of Bentonville Reference Station. This survey used a combined scale factor of 0.999961783 with a convergence angle of $-1^{\circ}12'12.17677''$ calculated at N 735342 E 703223 Z 1349.

RAMSEY SURVEYING, INC.
 1729 West Poplar Street
 Rogers, Ar. 72758
 www.ramseysurveying.com

Job: Lot Survey For Jeff DuRocher		Drawn By: SWP
Scale 1"=50'	Date: 7/01/19	Rev:
Location: Lot 10 Dream Valley No. 11		
Jim F. Ramsey PS #1227 479-631-8663	Job Number: 19128	

Benton County Planning Board

Ashley Tucker, Chair
Stephen Torrez, Vice Chair
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Rick Williams, Member
Terry Maienschein, Member
Sean Collyge, Member



Benton County Planning Department

1204 SW 14th Street, Ste. 6
Bentonville, AR 72712
Phone: (479) 464-6166
Fax: (479) 464-6170
E-mail: taylor.reamer@bentoncountyar.gov

**SITE PLAN REVIEW
PLANNER'S PUBLIC HEARING REPORT
Terra Rose Properties LLC Warehouse Site Plan Review
11427 N AR Hwy 59, Gravette AR 72736**

EXECUTIVE SUMMARY

The applicant's proposal details developing the commercially improved property with one (1) additional commercial structure totaling 22,966-sq. ft.

The 2.7-acre tract is currently improved with on 34,393-sq.ft. warehouse, two concrete access drives from Highway 59, and concrete drive aisles. The current warehouse facility is serviced by private well and individual septic. As part of the current proposal, the existing septic system will require abandonment and a new system will be designed and installed.

PROJECT INFORMATION

Owner: Terra Rose Properties LLC – Matt Isabell

Consultant: Gray Rock LLC

Address of subject property (as assigned): 11427 N AR Hwy 59, Gravette

Parcel IDs: 18-15179-000

Parcel Area: 2.72 +/- acres

Current Land Use(s): Existing Regional Commercial Warehouse Facility (34,393-sq. ft.)

Proposed Land Use(s): Regional Commercial – Warehouse (Total Warehouse: 57,359-sq. ft.)

Attachments: The following drawings and documents are attached:

1. Vicinity Graphic
2. Context Map
3. Site Aerial
4. Civil Set from Applicant

PLANNING ANALYSIS

Description of Property and Surrounding Area:

The subject property consists of a 2.7-acre parcel located on the west side of AR Highway 59, approximately 1.3-miles south of Gravette city limits. Primary vehicular access is proposed via two existing concrete aprons on AR Hwy 59. The property is not located within the FEMA 100-yr. floodplain or County designated Urbanized MS4 area. The immediately surrounding land uses are as follows:

- North: Single Family Residential / Agricultural
- East: Single Family Residential / Agricultural
- South: Single Family Residential / Agricultural
- West: Single Family Residential / Agricultural

Background information:

The applicant submitted a Site Plan Review application and accompanying information meeting Staff's requirements. On August 28th, 2019, an inter-departmental review form was sent to the following agencies: Planning Department, Health Dept., Road Dept., Building Dept., Fire Marshal, Assessor's GIS Mapping Manager, AR DoT, and Benton County E-911 Administration.

TECHNICAL REVIEW OF SITE PLAN

Parcel Information:

Site inspection and research against State assessment records show the property as contain one commercially assessed improvement.

Noticing Requirements:

On September 4th, 2019, the applicant submitted USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the September 18th Public Hearing.

On September 4th, 2019, the applicant submitted the required photographs verifying that the required public hearing notice signage along the property's frontage has been conspicuously posted on site.

Standard Building Setbacks:

Required: Sixty-five (65) feet measured from the center line of the fronting road (AR Hwy 59) or twenty-five (25) feet from the fronting property lines, whichever is greater is required; A side and rear yard, building to property line setback of ten (10) feet is required.

Comments: **Site plans shall graphically detail the County required setbacks.**

Parking Requirements:

'Storage/Warehouse Use':

Required: 1 space per company owned vehicle + 1 space per on site employee or 1 space per 2,000-sq. ft., whichever is greater and adequate designated loading areas

Calculation: TBD

Required: TBD spaces

Total Parking Required: TBD parking spaces, inclusive of ADA compliant spaces.

The site plans shall contain a Parking Table detailing County parking requirements and provided parking.

The applicant shall show all required parking in accordance with County ordinance.

Site Features - Loading area:

The site plans shall graphically designate areas of loading/unloading with a minimum reserve area of 10-ft. by 25-ft.

Site Features – Lighting:

The Site Plan shall provide a note that all outdoor lights will be 'full cut-off lighting in accordance with IESNA standards. The locations of outdoor lighting fixtures shall be noted on the plans.

Parking / Landscape Buffer:

Required: Adjoining incompatible uses should be screened with landscaping, walls, berms, or similar treatments. Section 4.6.16.c states that all required vegetative screening must have a minimum height of five (5) feet. All trees should be wire basket, B & B, or container grown. Smaller flowering trees and ornamentals will be centered at four (4') feet maximum. Coniferous trees will be centered at four (4') feet to five (5') feet depending on desired effect. All shrubs are to be planted in continuous planting beds. Planting beds will be mulched to a minimum depth of three (3") inches and will be maintained weed free. Plantings consisting of

trees and shrubs will be a minimum of 50% coniferous plantings. All required setbacks are required to be maintained as landscaped open space, per §4.6(16).

Comment: Land Use Compatibility analysis, per sec. 6.7, shows that the proposed use is classified as 'Regional Commercial', and is immediately adjacent to Residential + Agricultural uses. This places the proposed use as being Questionably Compatible – 'Major' with adjacent properties—and as such, will require some level of mitigation efforts in order to buffer the proposed commercial/industrial use. Specifically, table 6.6 (Compatibility Levels and Criteria) indicates 15 - 20 ft. of additional setback, buffering up to 40 ft. in depth, and may require wall/fence and 2-3 tier plantings.

The current site plan details a series of proposed redbud trees and maple trees located to the north of the proposed structure. As requested at the Technical Advisory Committee meeting, the applicant shall submit a thorough landscaping plan in accordance with County regulation.

Access Driveways/Internal Circulation:

Required: The design and construction shall be in accordance with the standards as presented in the Benton County Road Plan.

Comment: The site fronts along a State maintained roadway. The applicant proposes to utilize existing access drives from the public right-of-way. **The property owner shall receive AR DoT approval for any activity or driveway connection within the State's right of way.**

Additionally, the applicant shall graphically show adequate truck/vehicle traffic circulation and adequate areas for truck loading/unloading in order to prevent on site activity from effecting the public roadway.

Site Services - Drainage/ Stormwater Management Plan:

Required: Applicant is required to indicate on plan storm drainage infrastructure and to provide an off-site drainage study. If study indicates an increase in peak flow discharge downstream, the developer shall construct a detention facility or an alternative LID methodology that shall control the peak runoff rate. The County also recommends minimizing impervious surface to limit the need for such facilities.

Comment: The subject property is not located in an MS4 area. **The project engineer shall provide a drainage report for the proposal detailing no net increase of post development runoff during a 10-year event.**

The project engineer shall comply with ADEQ's Stormwater Pollution Prevention Plan (SWPPP) for onsite stormwater management during construction and post-construction stabilization BMPs.

Site Services - Solid Waste Disposal:

The current site plans note an on-site dumpster. **The site plans shall include a 'Detail' for the dumpster enclosure, additionally the property owner shall submit written verification of service to the site.**

Site Services - Electrical Power Supply:

The applicant shall provide written confirmation from service provider.

Site Services – Septic System:

Required: Regardless of development size, a state-approved septic disposal method is required of all commercial and industrial developments. All disposal system criteria must meet or exceed septic requirements as established by the Arkansas Department of Health (ADH) in accordance with Act 402 of 1977 as amended.

Comment: The current project proposal outlines the use of an individual septic system. **The property owner shall provide a copy of ADH's approved septic system permit prior to building permit.**

Site Services - Water Service:

The applicant shall provide written confirmation from service provider.

Site Services - Fire & EMS:

The Benton County Emergency 911 Administration verified the address associated with the property.

Staff received from the Benton County Fire Marshal:

1. This building will be required to have an automatic sprinkler system under the 2012 Arkansas Fire Code chapter 9 section 901, Fire Protection Systems.
2. This building will require a fire alarm system under the Arkansas Fire Code, Chapter 9, section 907.
3. The new building will require exit signs and lights along with fire extinguisher under the Arkansas Fire Code.
4. The new building will have to meet all other applicable Arkansas Fire Code requirements.

This building will be subject to an annual fire inspection as will the existing building. I will set up an inspection for the existing building in the near future.

Site Services – Hazardous Chemical Storage

In accordance with §4.6. B #5, all proposed commercial and industrial developments must submit written confirmation of hazardous materials to be used and stored on-site. Documentation is to be forwarded to the County Office of Emergency Services.

The property owner shall submit documentation providing hazardous chemicals are to be stored on site.

OUTSTANDING ITEMS:

1. Site Plan Revisions:
 - a. Parking Table accurately referencing County required parking standards for Warehouse/Storage
 - i. Table to include Required parking in relation to Provided Parking
 - b. Include County's case number on cover page (19-191)
 - c. Graphically show County required building setbacks
 - d. Outdoor lighting locations
 - i. Plan note: 'All outdoor lighting shall be full cut off in accordance with IESNA standards'
 - e. Fire Code Compliance notes and include plan components complying with code requirements
 - f. Loading Area Designations
 - g. Graphically show adequate truck/vehicle traffic circulation in order to prevent on site activity from effecting the public roadway.
 - h. Include approved septic system
 - i. Landscaping plan in accordance with Chapter 6
2. The property owner shall receive AR DoT approval for any activity or driveway connection within the State's right of way.
3. The project engineer shall provide a drainage report for the proposal detailing no net increase of post development runoff during a 10-year event.
4. SWPPP and ADEQ Notice of Automatic Coverage
5. Compliance with Fire Code Requirement for site design, building permitting, and occupancy

6. Utility and Service Letters:
 - a. Solid waste disposal
 - b. Water
 - c. Electric
 - d. Hazard Chemical Storage
 - e. ADH approved septic permit

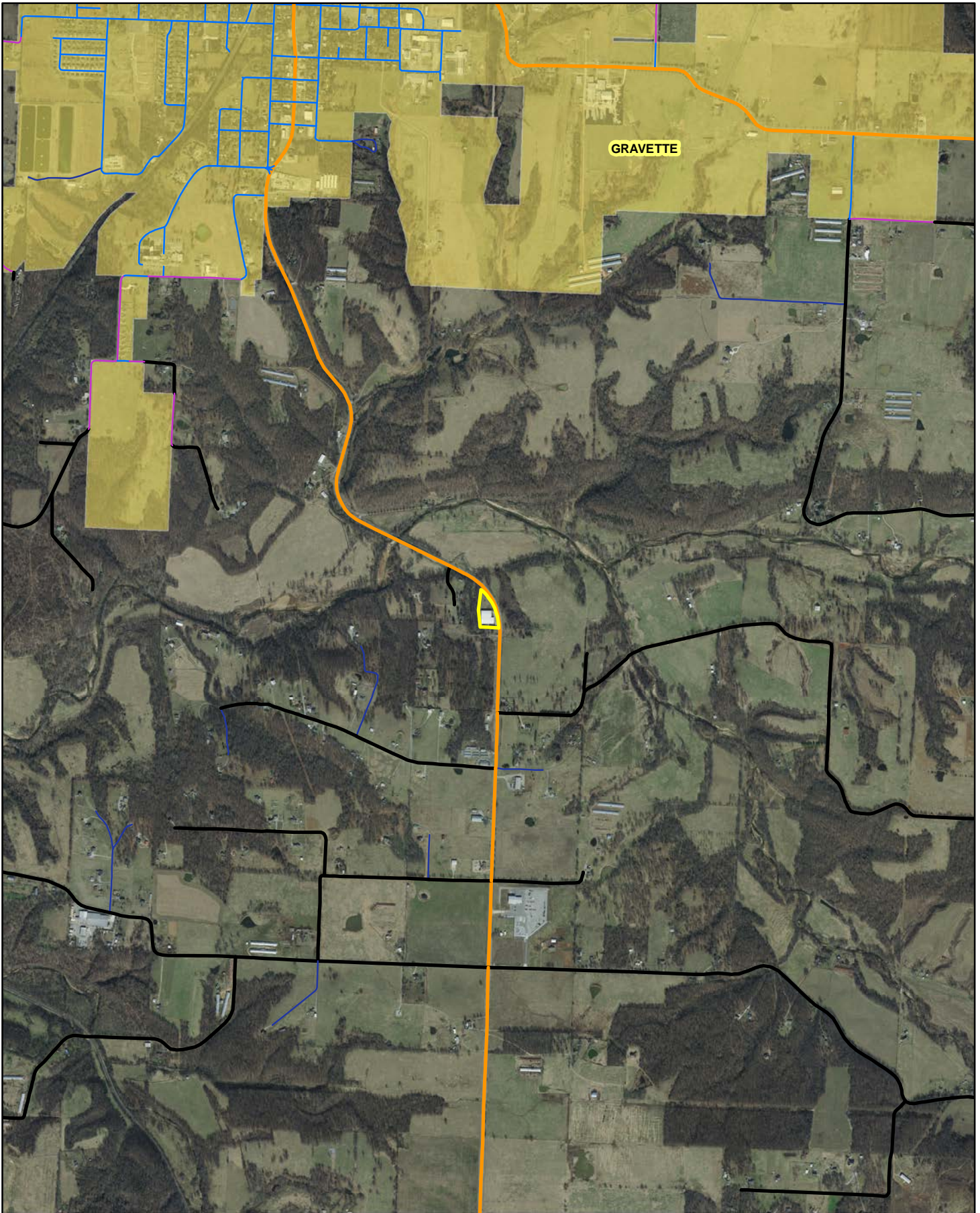
CONSIDERATIONS FOR THE BOARD:

- I. Terra Rose Property LLC Warehouse Site Plan Review, case no. 19-191 conditioned upon the following:
 1. Site Plan Revisions:
 - a. Parking Table accurately referencing County required parking standards for Warehouse/Storage
 - i. Table to include Required parking in relation to Provided Parking
 - b. Include County's case number on cover page (19-191)
 - c. Graphically show County required building setbacks
 - d. Outdoor lighting locations
 - i. Plan note: 'All outdoor lighting shall be full cut off in accordance with IESNA standards'
 - e. Fire Code Compliance notes and include plan components complying with code requirements
 - f. Loading Area Designations
 - g. Graphically show adequate truck/vehicle traffic circulation in order to prevent on site activity from effecting the public roadway.
 - h. Include approved septic system
 - i. Landscaping plan in accordance with Chapter 6
 2. The property owner shall receive AR DoT approval for any activity or driveway connection within the State's right of way.
 3. The project engineer shall provide a drainage report for the proposal detailing no net increase of post development runoff during a 10-year event.
 4. SWPPP and ADEQ Notice of Automatic Coverage
 5. Compliance with Fire Code Requirement for site design, building permitting, and occupancy
 6. Utility and Service Letters:
 - a. Solid waste disposal
 - b. Water
 - c. Electric
 - d. Hazard Chemical Storage
 - e. ADH approved septic permit
 7. Project adheres to Standard Conditions of Site Plan Review

Prepared by: Taylor Reamer – Planning Director
Reviewed by: Tracy Backs – County Planner

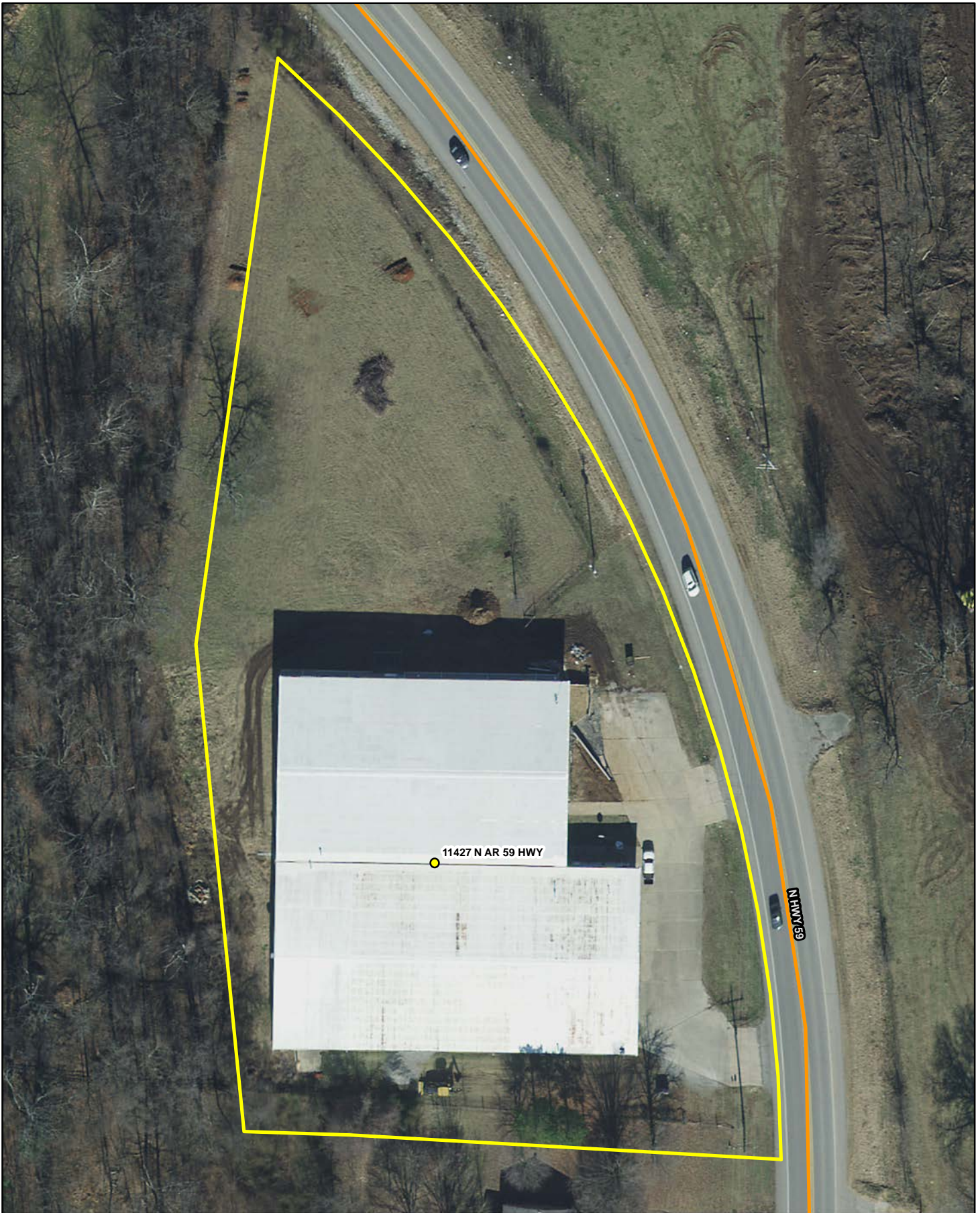
Terra Rose Properties Site Graphic

11427 N AR Hwy 59



Terra Rose Properties Site Graphic

11427 N AR Hwy 59



LARGE SCALE DEVELOPMENT PLANS FOR: TUGG LOGISTICS WAREHOUSE ADDITION

11427 HWY 59
GRAVETTE, BENTON COUNTY, AR



VICINITY MAP
(N.T.S.)

GENERAL NOTES:

1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE. BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 18", WHICHEVER IS LESS, CONTACT GRAY ROCK, LLC. AT 479-250-9131 PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL WHICH HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. THE OWNER AND GRAY ROCK, LLC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
4. CALL BEFORE YOU DIG AT 1-800-482-8998.
5. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES AND CONSTRUCTION STAKING ASSOCIATED WITH THE PROJECT.
6. THE LAND DISTURBANCE PERMIT MUST BE KEPT ON THE WORK SITE AND SHOWN UPON REQUEST.
7. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING IF NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
8. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE, ANY AND ALL COST ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF THE CONTRACTOR DOES NOT ADEQUATELY HANDLE STORM WATER MANAGEMENT FACILITIES AND A PROFESSIONAL ENGINEER IS REQUIRED, BY A GOVERNING AGENCY DURING THE CONSTRUCTION OF SAID FACILITIES.
9. THE OWNER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES AND FOR DIVERTING STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
10. THE OWNER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR PUBLIC WATER MAIN AND SANITARY SEWER MAIN INSTALLATION/REPAIR.
11. SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO INSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.
12. ALL SITE WORK AND CONSTRUCTION FOR THIS PROJECT SHALL BE IN CONFORMANCE WITH THE CITY OF BENTON COUNTY REGULATIONS.
13. ALL PAVEMENT STRIPING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS AND THE DETAILS PROVIDED.
14. THE CONTRACTOR SHALL SPOIL ANY EXCESS TOPSOIL LOCATED ON THE SITE THAT IS NOT REQUIRED TO PERFORM LANDSCAPE OPERATIONS. IF SUFFICIENT TOPSOIL IS NOT PRESENT ON SITE, THE CONTRACTOR SHALL IMPORT TOPSOIL TO THE SITE IN ORDER TO COMPLETE THE LANDSCAPE OPERATIONS. THE CONTRACTOR SHALL PERFORM A SOIL TEST ON THE EXISTING AND IMPORTED TOPSOIL AND APPLY LIME AND FERTILIZER AS RECOMMENDED BY THE TESTING AGENCY.
15. CONTRACTOR SHALL FIELD VERIFY DEPTHS AND SIZES OF EXISTING UTILITIES TO BE CROSSED PRIOR TO LAYING NEW LINES. CONTRACTOR SHALL NOT SUBMIT CLAIM FOR EXTRA WORK PERFORMED FOR LAYING NEW LINES THAT CONFLICT WITH EXISTING UTILITIES WHICH WERE NOT VERIFIED PRIOR TO BEGINNING NEW WORK. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS EXPOSED PRIOR TO LAYING NEW LINES.
16. ALL CURB/ACCESSIBLE RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR THE CITY OF BENTON COUNTY STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
17. THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR OBTAINING ALL NPDES PERMITS AND FOR THE IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO MEET THE NPDES STORM WATER DISCHARGE PERMIT REQUIREMENTS AND SPECIFICATIONS. THE OWNER SHALL ALSO BE FULLY RESPONSIBLE FOR ANY PENALTIES FROM THE LOCAL, STATE, OR FEDERAL AUTHORITIES AS A DIRECT OR INDIRECT RESULT OF THE IMPROPER OR INADEQUATE IMPLEMENTATION OF THE SWPPP.
18. ALL WELLS SYSTEMS (IF ANY) SHALL BE LOCATED AND ABANDONED BY A STATE-LICENSED AND BONDED DRILLER ACCORDING TO LOCAL, STATE, AND FEDERAL REQUIREMENTS.
19. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY BENTON COUNTY WATER UTILITIES.
20. DESIGN PLANS SHALL NOT BE CONSIDERED CONSTRUCTION/BID DOCUMENTS UNTIL APPROVAL IS OBTAINED FROM ALL APPLICABLE LOCAL AND STATE GOVERNING AGENCIES.
21. A BENTON COUNTY ROAD OR AHTD PERMIT IS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
22. ALL WATER LINE AND SEWER LINE INSTALLATION SHALL CONFORM TO THE STANDARDS AND DETAILS OF BENTON COUNTY WATER UTILITIES AND ARKANSAS HEALTH DEPARTMENT SPECIFICATIONS.
23. THE CITY OF BENTON COUNTY STREET STANDARDS, DRAINAGE CRITERIA MANUAL, SUBDIVISION ORDINANCE, WATER, SEWER, ELECTRIC UTILITY SPECIFICATIONS AND STATE CODE SHALL GOVERN THESE PLANS. IF THERE ARE DISCREPANCIES IN THE PLANS OR INFORMATION CONTAINED WITHIN, CITY OF BENTON COUNTY ORDINANCES, STANDARDS, AND SPECIFICATIONS SHALL RULE, UNLESS APPROVED IN WRITING BY THE CITY ENGINEER.
24. TO SCHEDULE AN INSPECTION OR TEST WITH THE CITY OF BENTON COUNTY ENGINEERING DEPARTMENT, INSPECTIONS MUST BE CALLED IN (479-271-3168) BY THE ENGINEER OF RECORD 24 HOURS IN ADVANCE BEFORE 10AM FOR AN INSPECTION THE FOLLOWING DAY.
25. THE ENGINEER OF RECORD MUST CERTIFY THE SITE AND THE PROJECT MUST PASS A DEVELOPMENT FINAL SITE INSPECTION BEFORE REQUESTING A BUILDING FINAL INSPECTION.

GOVERNING AGENCIES

BENTON COUNTY PLANNING DEPARTMENT
1204 SW 14TH STREET
BENTONVILLE, AR 72712
(479) 464-6166

BENTON COUNTY FIRE DEPARTMENT
1204 SW 14TH STREET
BENTONVILLE, AR 72712
MARC TROLLINGER FIRE MARSHAL
(479) 271-1003

AHTD
P.O. BOX 610
HARRISON, AR 72602
CONTACT: BEN KERWOOD
(870) 743-2100

UTILITY AGENCIES

GAS COMPANY
BLACK HILLS ENERGY
1301 FEDERAL WAY, PO BOX 2129
LOWELL, AR 72745
CONTACT: JOSH KNIGHT
(479) 333-7005
Joshua.knight@blackhillscorp.com

TELEPHONE COMPANY
AT&T
627 WHITE ROAD
SPRINGDALE, AR 72766
CONTACT: SCOTT SEAMAN
(479) 442-1967
OR LAYNE RHODES
(479) 442-1977
LR159@ATT.COM

CABLE COMPANY
COX COMMUNICATIONS
4901 S. 48TH ST.
SPRINGDALE, AR 72762
CONTACT: KIP SMITH
(479) 717-3796
kip.smith@cox.com

ELECTRIC COMPANY
CARROL ELECTRIC DEPARTMENT
707 SE WALTON BLVD.
BENTONVILLE, AR 72712
(479) 273-2421

PROPERTY DESCRIPTION (FROM SURVEY):

PART OF THE NORTHWEST QUARTER (NW¼) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 33 WEST, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SE CORNER OF THE NW¼ OF THE SE¼ OF SAID SECTION 24; THENCE N86°22'51"W 65.40 FEET TO THE POINT OF BEGINNING; THENCE N86°22'51"W 293.32 FEET; THENCE N05°22'41"W 265.04 FEET; THENCE N08°14'50"E 319.68 FEET TO THE WEST RIGHT-OF-WAY LINE OF ARKANSAS HIGHWAY 59; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE AND A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1151.80 FEET, AN ARC LENGTH OF 350.71 FEET, A CENTRAL ANGLE OF 17°26'48", AND A CHORD BEARING AND DISTANCE OF S33°08'34"E 349.36 FEET; THENCE CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE AND A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 944.22 FEET, AN ARC LENGTH OF 318.19 FEET, A CENTRAL ANGLE OF 19°18'29", AND A CHORD BEARING AND DISTANCE OF S14°45'56"E 316.69 FEET TO THE POINT OF BEGINNING, CONTAINING 118,478.33 SQUARE FEET OR 2.72 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

FLOOD CERTIFICATION:

I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007C0040J (EFFECTIVE DATE SEPTEMBER 28, 2007) AND FOUND THE DESCRIBED PROPERTY HEREON LIES IN ZONE "X", AN AREA HAVING NO SPECIAL FLOOD HAZARDS.

DRAWING LIST

COVER SHEET	C0.0
SURVEY	C1.0
SITE PLAN	C2.0
GRADING PLAN	C3.0
EROSION CONTROL PLAN	C4.0
UTILITY PLAN	C5.0
LANDSCAPE PLAN	C6.0
DETAIL SHEETS	C7.0

OWNER/DEVELOPER:

TUGG LOGISTICS
TERRA ROSE PROPETIE, LLC
11427 N. HWY 59
GRAVETTE, AR 72736
(479)418-1376

ARCHITECT

HENRY ARCHITECTURE
1722 NORTH COLLEGE AVE., SUITE C - BOX 153
FAYETTEVILLE, AR 72703
479-530-9693

SURVEYOR:

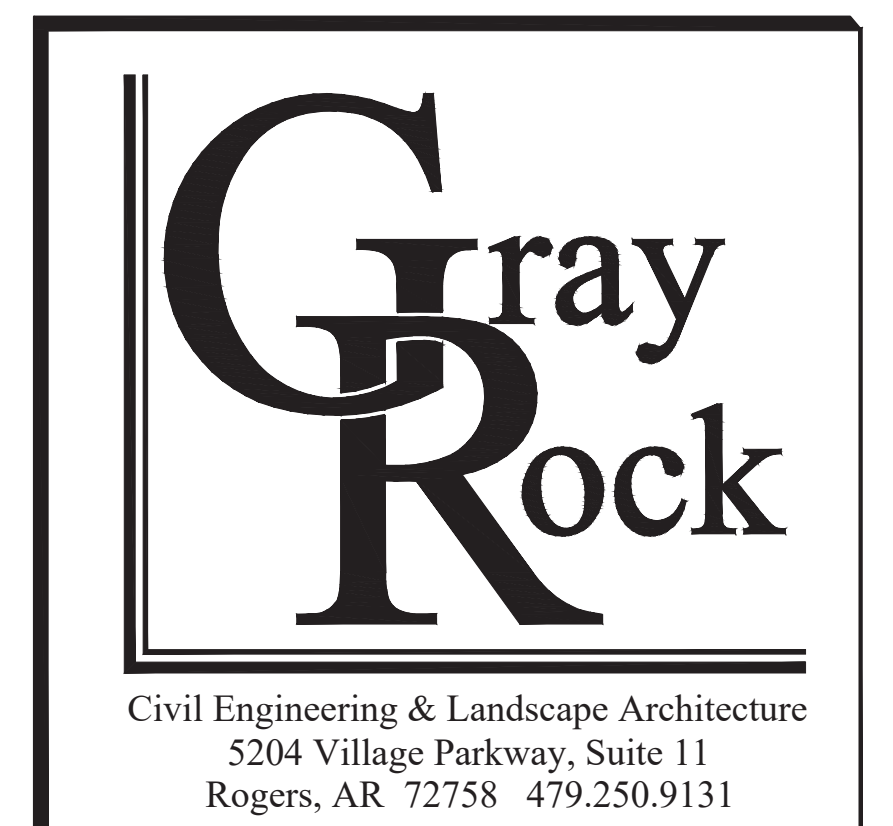
CASTER & ASSOCIATES LAND SURVEYING, INC
2715 SE "I" Street, Suite 5
Bentonville, AR 72712
Telephone 479-268-4464

PRELIMINARY
NOT FOR
CONSTRUCTION

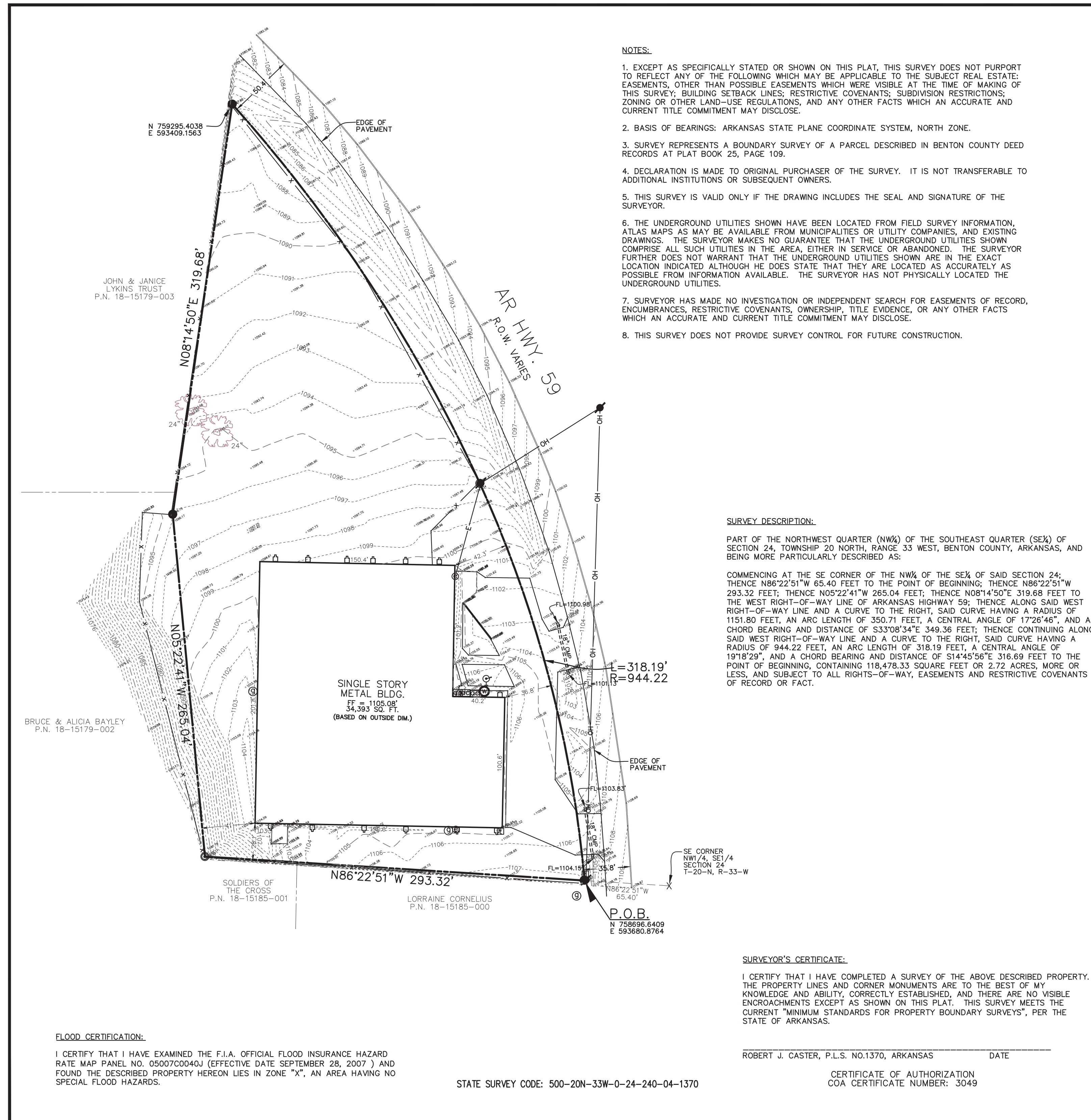


*** CAUTION ***

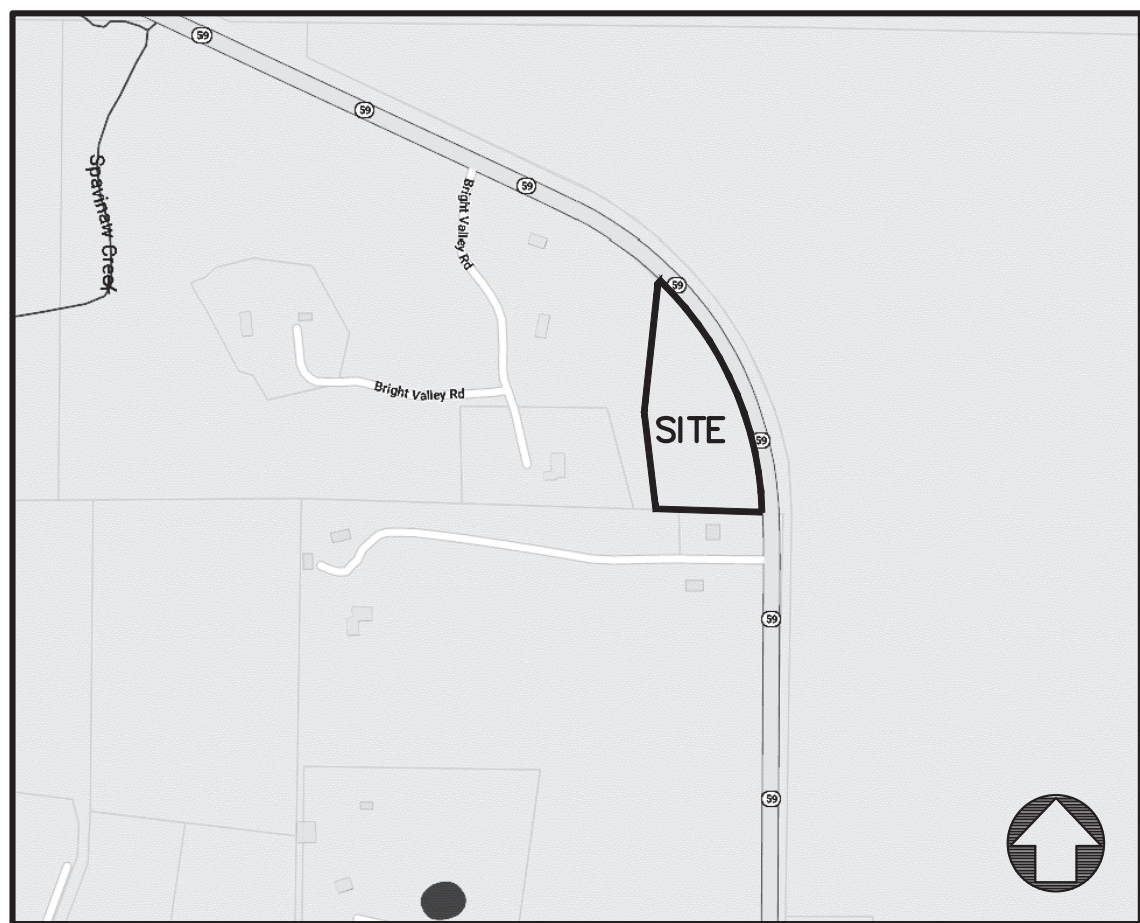
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



C0.0
AUGUST 21, 2019



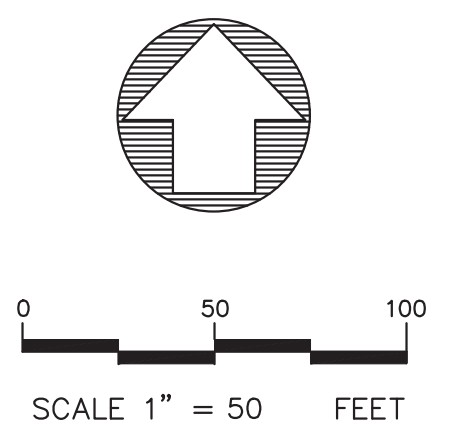
- NOTES:**
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
 - BASIS OF BEARINGS: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE.
 - SURVEY REPRESENTS A BOUNDARY SURVEY OF A PARCEL DESCRIBED IN BENTON COUNTY DEED RECORDS AT PLAT BOOK 25, PAGE 109.
 - DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
 - THIS SURVEY DOES NOT PROVIDE SURVEY CONTROL FOR FUTURE CONSTRUCTION.



VICINITY MAP (N.T.S.)

LEGEND

- FOUND REBAR
- SET 1/2" REBAR W/CAP, LS 1370
- TELEPHONE RISER
- ⊕ GAS METER
- ⊖ ELECTRIC METER
- ⊞ AIR COND. UNIT
- ⊙ WELL
- ⊕ SATELLITE DISH
- ⊙ UTILITY POLE
- ⊕ ROOF DRAIN
- E — UNDGR ELECTRIC
- OH — OVERHEAD LINE
- x — WIRE FENCE
- — — — — PROPERTY LINE
- — — — — RIGHT-OF-WAY LINE
- — — — — FLOWLINE
- — — — — CONTOUR LINE
- SPOT ELEVATION
- ⊕ DECIDUOUS TREE



SURVEY DESCRIPTION:

PART OF THE NORTHWEST QUARTER (NW¼) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 33 WEST, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SE CORNER OF THE NW¼ OF THE SE¼ OF SAID SECTION 24; THENCE N86°22'51"W 65.40 FEET TO THE POINT OF BEGINNING; THENCE N86°22'51"W 293.32 FEET; THENCE N05°22'41"W 265.04 FEET; THENCE N08°14'50"E 319.68 FEET TO THE WEST RIGHT-OF-WAY LINE OF ARKANSAS HIGHWAY 59; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE AND A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1151.80 FEET, AN ARC LENGTH OF 350.71 FEET, A CENTRAL ANGLE OF 17°26'46", AND A CHORD BEARING AND DISTANCE OF S33°08'34"E 349.36 FEET; THENCE CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE AND A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 944.22 FEET, AN ARC LENGTH OF 318.19 FEET, A CENTRAL ANGLE OF 19°18'29", AND A CHORD BEARING AND DISTANCE OF S14°45'56"E 316.69 FEET TO THE POINT OF BEGINNING, CONTAINING 118,478.33 SQUARE FEET OR 2.72 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE ABOVE DESCRIBED PROPERTY. THE PROPERTY LINES AND CORNER MONUMENTS ARE TO THE BEST OF MY KNOWLEDGE AND ABILITY, CORRECTLY ESTABLISHED, AND THERE ARE NO VISIBLE ENCROACHMENTS EXCEPT AS SHOWN ON THIS PLAT. THIS SURVEY MEETS THE CURRENT "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS", PER THE STATE OF ARKANSAS.

ROBERT J. CASTER, P.L.S. NO.1370, ARKANSAS DATE _____

CERTIFICATE OF AUTHORIZATION
COA CERTIFICATE NUMBER: 3049

FLOOD CERTIFICATION:

I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007C0040J (EFFECTIVE DATE SEPTEMBER 28, 2007) AND FOUND THE DESCRIBED PROPERTY HEREON LIES IN ZONE "X", AN AREA HAVING NO SPECIAL FLOOD HAZARDS.

STATE SURVEY CODE: 500-20N-33W-0-24-240-04-1370

CASTER & ASSOCIATES
LAND SURVEYING, INC.

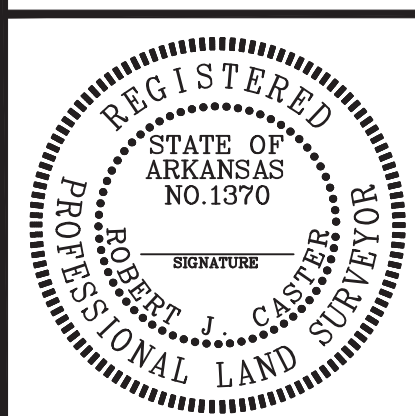
2715 SE "I" Street, Suite 5
Bentonville, AR 72712
Telephone 479-268-4464

SCALE: 1" = 50' DATE: 2-12-19

TOPOGRAPHIC/BOUNDARY SURVEY
PART NW1/4, SE1/4
SECTION 24, T-20-N, R-33-W

11427 N. AR HWY. 59
BENTON COUNTY, ARKANSAS

JOB # 19-025	DRAWN BY: ASD	CHK'D BY: RJC	PAGE 1 OF 1
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PRELIMINARY
NOT FOR
CONSTRUCTION

THESE PLANS ARE NOT
CONSIDERED FINAL UNLESS
SIGNED BELOW BY THE CIVIL
ENGINEER

CIVIL ENGINEER

NO.	DATE	REVISION

TUGG LOGISTICS
WAREHOUSE
11427 HWY 59
GRAVETTE, AR

GRAY ROCK, LLC.
5204 Village Parkway, Suite 11
Rogers, Arkansas 72758
www.grayrockconsulting.com
479.230.9131 office
800.887.7665 fax



PROJECT NO. 19-201	SCALE 1"=30'
DATE: AUGUST 21, 2019	
SITE PLAN	
NO. C2.0	

EXISTING LEGEND

- C.O.E. MONUMENT
- ⊗ FIBER OPTICS SIGN
- ⊕ FIRE HYDRANT
- ⊙ GAS VALVE
- ⊙ GAS REGULATOR
- ⊙ POWER POLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SET 1/2" IRON REBAR
- ⊙ STORM DRAIN MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ WATER VALVE
- CENTERLINE ROAD
- - - RIGHT-OF-WAY LINE
- - - WIRE R/W FENCE
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- - - OVERHEAD ELECTRIC LINE
- PROPERTY LINE

PROPOSED LEGEND

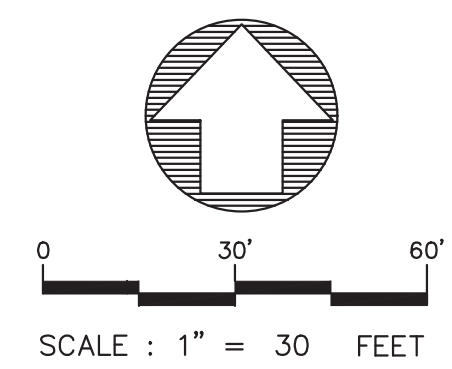
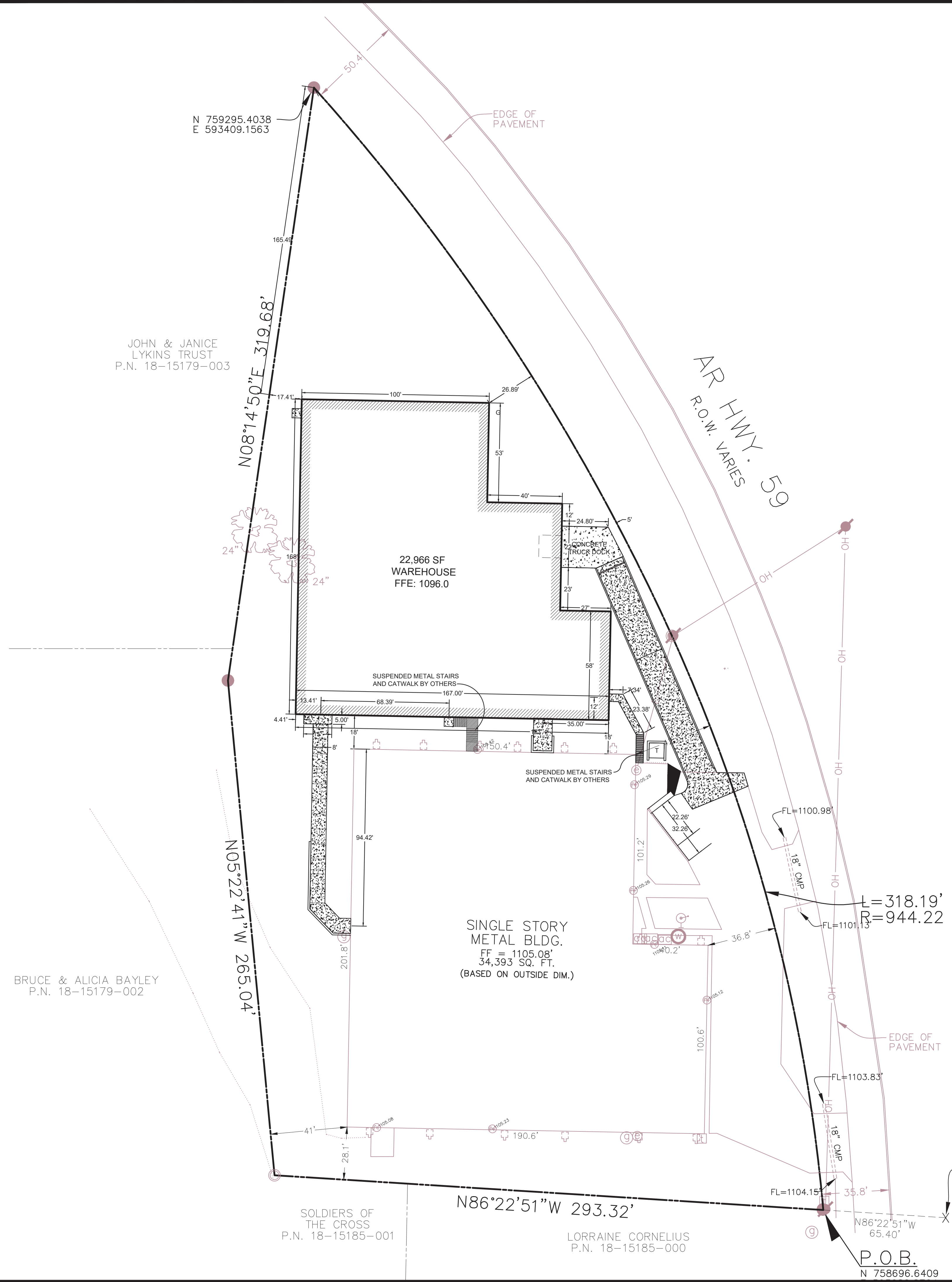
- GRAVEL
- CONCRETE PAVING
- SIGN, TYPE AS NOTED ON PLAN

GENERAL NOTES:

- REMOVE ALL VEGETATION AND TOPSOIL FROM PROPOSED AREAS TO BE DISTURBED AND STORE FOR LATER USE. REGRADE AND FURNISH ADDITIONAL TOPSOIL AS REQUIRED. SEED AND STRAW ALL AREAS DISTURBED BY CONSTRUCTION, UNLESS IDENTIFIED TO BE BOD.
- CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERN DURING CONSTRUCTION.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, GRADES, AND DIMENSIONS ON SITE AND IMMEDIATELY REPORT ALL MAJOR DISCREPANCIES (IF ANY) TO THE ARCHITECT.
- CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN. ANY DAMAGE TO SAID ITEMS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL CONFORM TO BENTON COUNTY REGULATIONS.
- ALL COSTS ASSOCIATED WITH UTILITY CONNECTIONS (IF ANY) SHALL BE INCLUDED IN BASE BID. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- REFER TO PROJECT DETAIL SHEETS FOR ASPHALT PAVEMENT SECTIONS, CONCRETE PAVEMENT SECTIONS, AND SIDEWALK DETAILS.
- ALL SIGNAGE, PAVEMENT MARKINGS, AND STRIPING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND REGULATIONS.
- ALL CURB/ACCESSIBLE RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR BENTON COUNTY STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL STREET DEPARTMENT OR HIGHWAY DEPARTMENT PRIOR TO PERFORMING ANY STREET CUTS.
- SLOPE FINISH GRADES, SIDEWALKS, AND PAVING AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
- ALL PARKING SPACES INDICATED AS ACCESSIBLE SPACES SHALL RECEIVE ACCESSIBLE PAVEMENT MARKINGS, AND SHALL BE IN ACCORDANCE WITH ADA STANDARDS OR BENTON COUNTY REGULATIONS, WHICHEVER IS MORE RESTRICTIVE. REFER TO DETAIL SHEETS.

SITE NOTES:

- SIGN INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED BY BENTON COUNTY. SIGNAGE SHALL MEET CURRENT REFLECTIVITY SPECIFICATIONS. ALL SIGNAGE SHALL CONFORM TO THE LATEST MUTCD REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR STRIPING INSTALLATION. ALL PAVEMENT ARROWS, STOP BARS, CROSS HATCHING, CROSSWALKS, STRIPING, AND OTHER PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE INSTRUCTED IN THE PROJECT SPECIFICATIONS.
- ALL CONCRETE AND ASPHALT PAVEMENT, CURB AND GUTTER, AGGREGATE BASE, ETC. SHALL BE IN ACCORDANCE WITH THE DETAIL SHEETS AND BENTON COUNTY STANDARDS AND SPECIFICATIONS. ANY CHANGES MUST BE APPROVED BY THE ARCHITECT, THE OWNER, AND THE ENGINEER.
- ALL SAW CUT EDGES SHALL BE A CLEAN EDGE. WIDTH OF ASPHALT / CURB REMOVAL MAY VARY: SEE PLANS. DISPOSE OF ALL REMOVED ASPHALT / CURB IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS FOR DISPOSAL.
- ALL DIMENSIONS ARE TO CENTER OF STRIPE, EDGE OF PAVEMENT, FACE OF BUILDING, OR FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- ALL OFF-SITE EASEMENTS (PERMANENT AND TEMPORARY), IF ANY, ARE THE RESPONSIBILITY OF THE OWNER TO OBTAIN.
- ALL WORK IN AHTD RIGHT-OF-WAY SHALL MEET AHTD STANDARDS AND SPECIFICATIONS.
- ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) SHALL BE SCREENED WITH MATERIALS SIMILAR TO THE BUILDING.
- ALL SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- NOTHING SHALL BE PLACED OR PERMITTED BETWEEN 30" AND 60" IN HEIGHT IN THE SHADED SIGHT TRIANGLE AREAS.
- NO NEW SITE LIGHTING IS PROPOSED. ANY NEW LIGHTING WILL REQUIRE THAT IT BE CUT-OFF OR B-U-G (WITH A U RATING OF 0) AND APPROVED BY THE PLANNING DEPARTMENT.



JOHN & JANICE
LYKINS TRUST
P.N. 18-15179-003

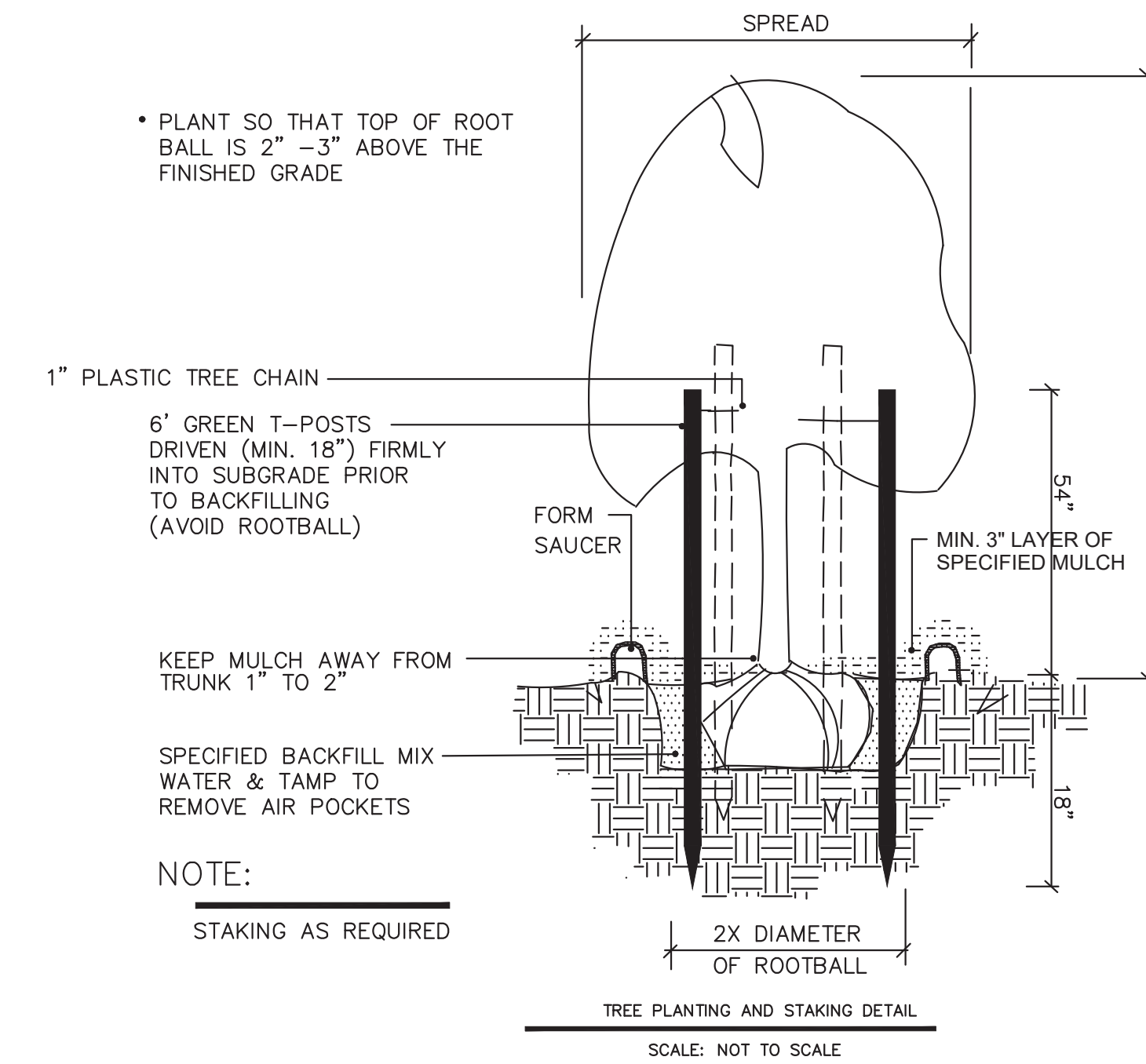
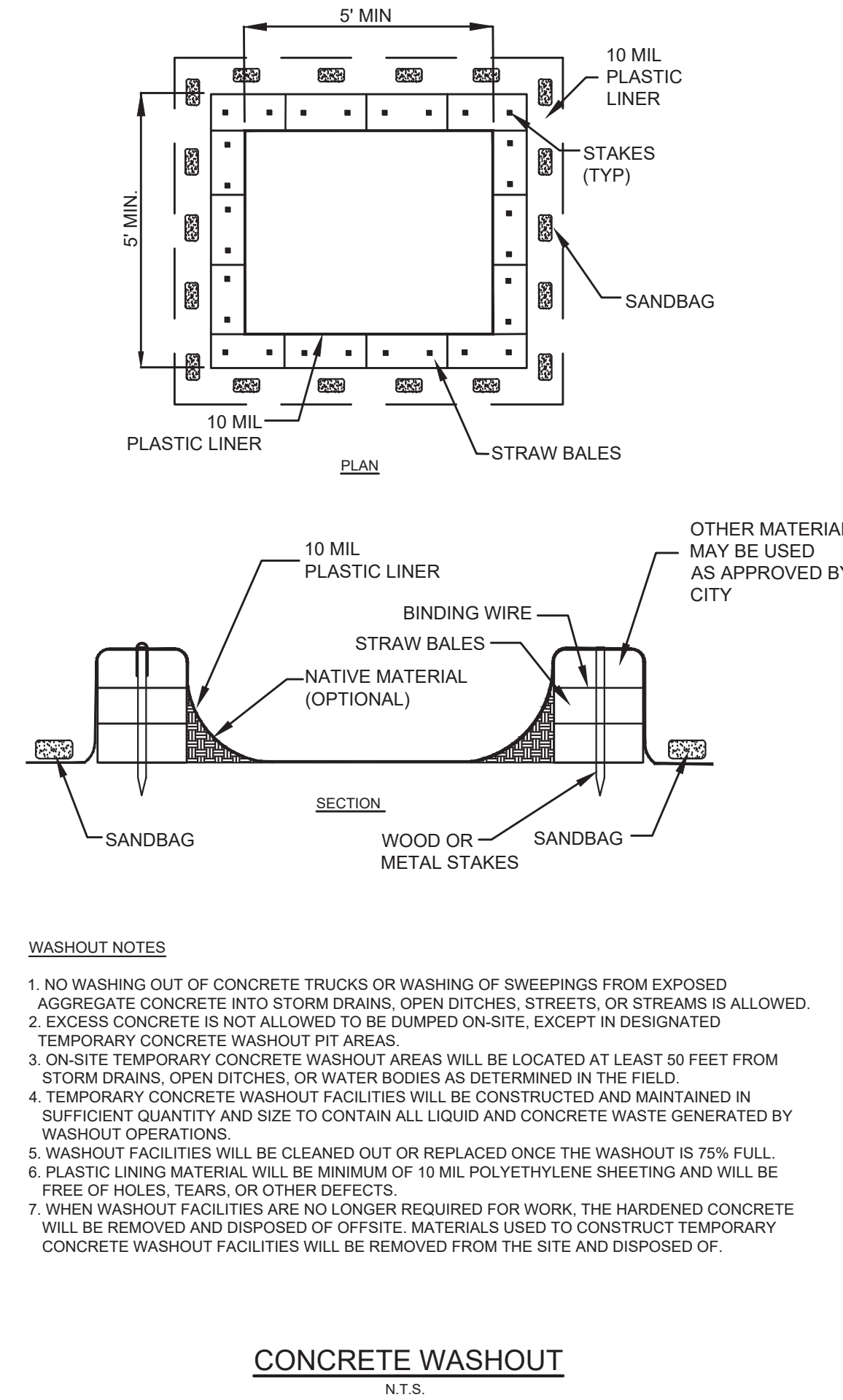
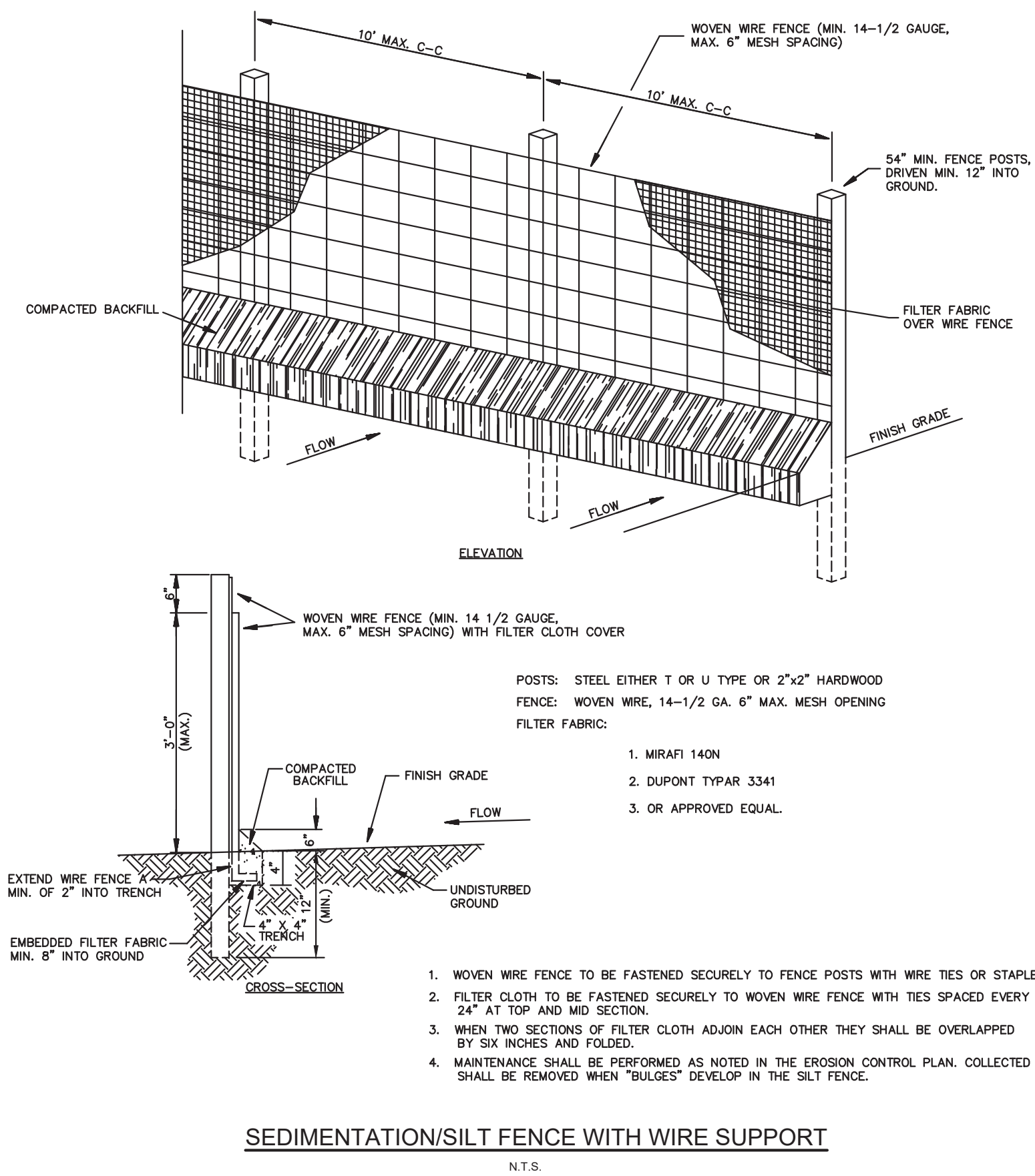
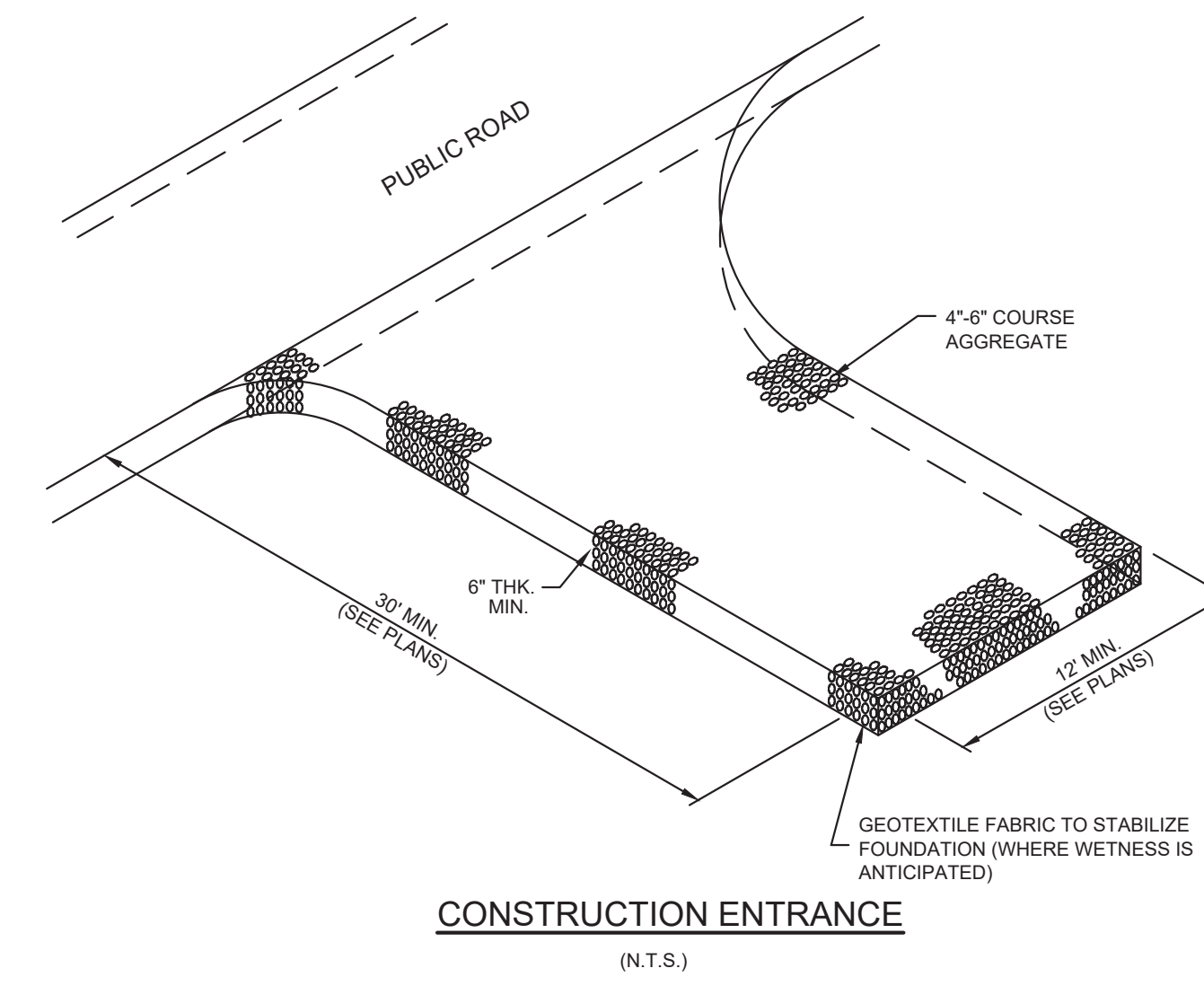
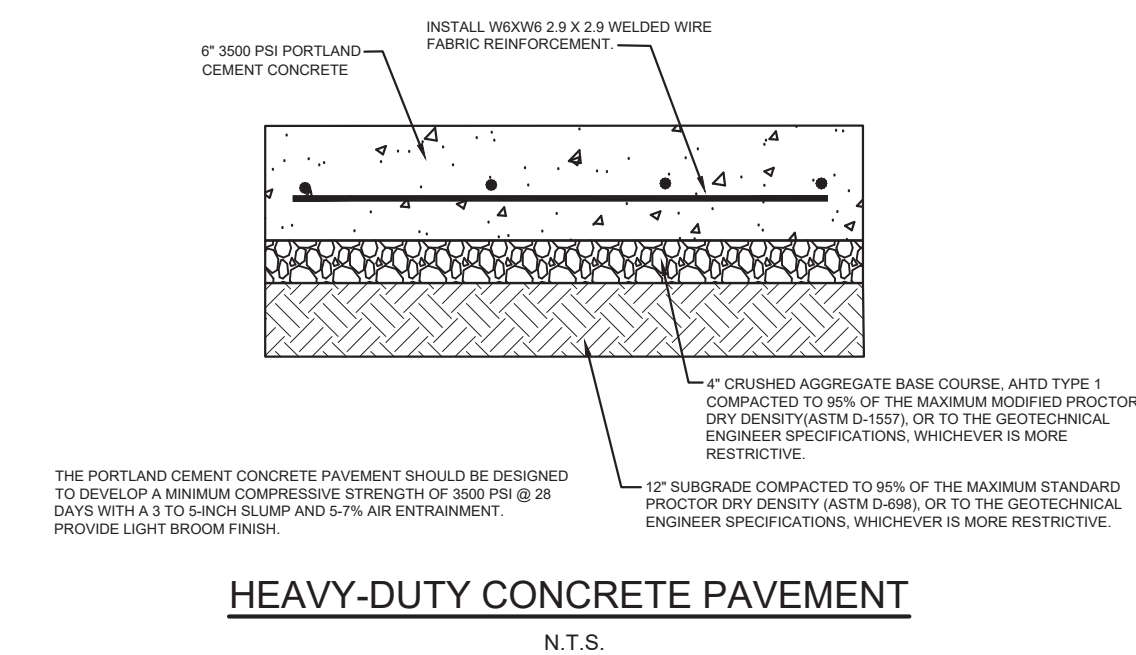
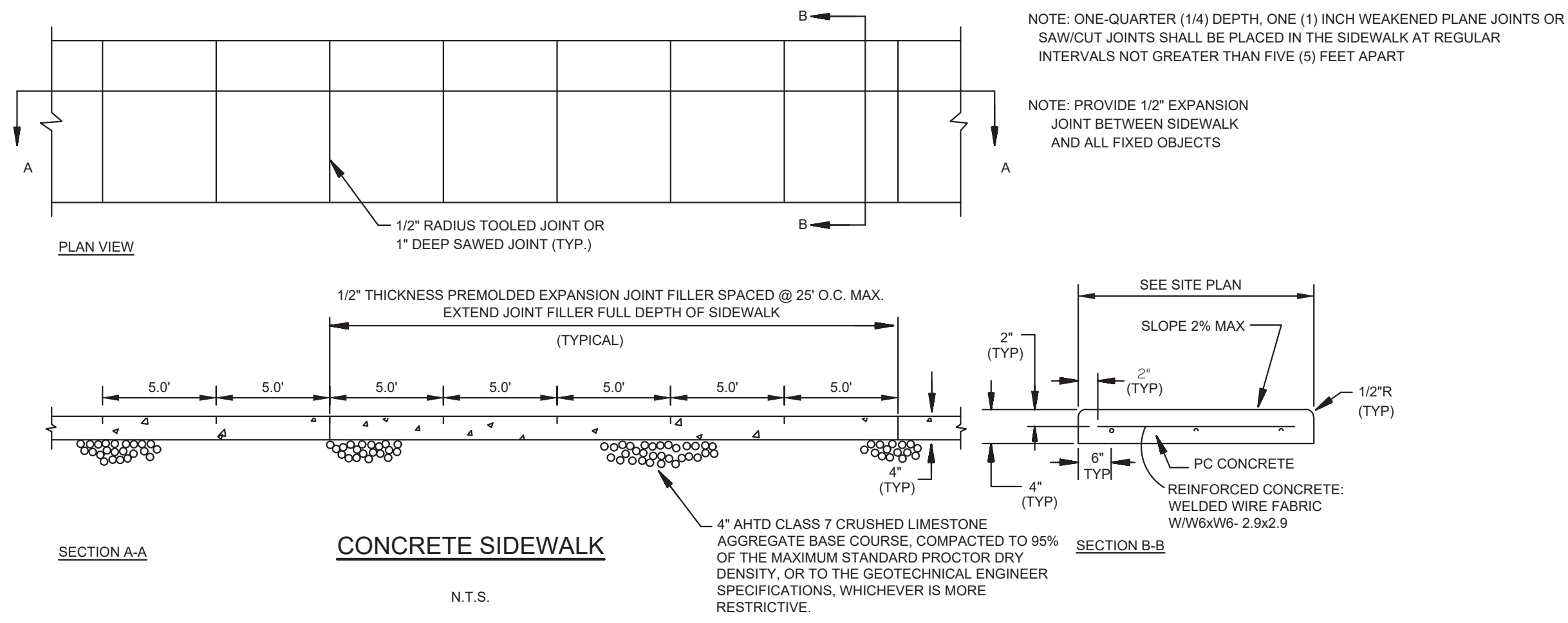
BRUCE & ALICIA BAYLEY
P.N. 18-15179-002

SOLDIERS OF
THE CROSS
P.N. 18-15185-001

LORRAINE CORNELIUS
P.N. 18-15185-000

P.O.B.
N 758696.6409

SE CORNER
NW1/4, SE1/4
SECTION 24
T-20-N, R-33-W



PRELIMINARY
NOT FOR
CONSTRUCTION

THESE PLANS ARE NOT
CONSIDERED FINAL UNLESS
SIGNED BELOW BY THE CIVIL
ENGINEER

CIVIL ENGINEER

NO.	DATE	REVISION

TUGG LOGISTICS
WAREHOUSE
11427 HWY 59
GRAVETTE, AR

GRAY ROCK, LLC.
5204 Village Parkway, Suite 11
Rogers, Arkansas 72758
www.grayrockconsulting.com
479.230.9131 office
800.887.7665 fax



PROJECT NO. 19-201	SCALE N.T.S.
DATE: AUGUST 21, 2019	
PROJECT DETAILS	
SHEET C7.0	NO.

Benton County Planning Board

Ashley Tucker, Chair
Stephen Torrez, Vice Chair
Ron Homeyer, Member
Bob Bracy, Member
Rick Williams, Member
Terry Maienschein, Member
Sean Collyge, Member



Benton County Planning Department

1204 SW 14th Street, Ste. 6
Bentonville, AR 72712
Phone: (479) 464-6166
Fax: (479) 464-6170
E-mail: taylor.reamer@bentoncountyar.gov

**VARIANCE REVIEW
PLANNER'S TECHNICAL ADVISORY COMMITTEE REPORT
Steinbroner Setback Variance
18700 Coppermine Road, Rogers**

EXECUTIVE SUMMARY

The property owner proposes to construct a dwelling and detached garage. The proposed location of the dwelling and garage are within the County required 10-ft. side yard building setback and the County require 50-ft. building to road centerline setback. The property owner is requesting setback variance from the 50-ft. and 10-ft. requirement as follows: Proposed dwelling to be located 33-ft. from road centerline in lieu of the required 50-ft. and garage to be located 2.5-ft. from side property line in lieu of the required 10-ft. and 33-ft. from road centerline in lieu of the required 50-ft.

PROJECT INFORMATION

Owner: Jonathan and Alissa Steinbroner

Address of subject property (as assigned): 18700 Coppermine Road, Rogers

Parcel IDs: 15-01719-000

Parcel Area: 0.29 +/- acres

Current Land Use(s): Low/Medium Density Residential (Single Family Residential)

Proposed Land Use(s): Low/Medium Density Residential (Single Family Residential – Building Setback Variance)

Attachments: The following drawings and documents are attached:

1. Vicinity Graphic
2. Context Map
3. Site Aerial
4. Applicant’s Site Plans and Justification Statement

PLANNING ANALYSIS

Description of Property and Surrounding Area:

The subject property consists of a 0.3-acre parcel located on the north side of Coppermine Road, located east of the city of Rogers. The subject property is within Coppermine Acres 2nd Subdivision east of the highway 12 east bridge and north of highway 12 east. Primary vehicular access is proposed via a drive from the public right of way (Coppermine Road). The property is not located within the FEMA 100-yr. floodplain, nor within County designated Urbanized MS4 Stormwater area. The immediately surrounding land uses are as follows:

- North: Corps of Engineers (Beaver Lake)
- East: Single Family Residential
- South: Single Family Residential
- West: Single Family Residential

Background information:

The applicant submitted a Variance application and accompanying information meeting Staff’s requirements. On September 11, 2019, an inter-departmental review form was sent to the following agencies: Planning Department, Health Dept., Road Dept., Building Dept., Fire Marshal, Assessor’s GIS Mapping Manager, and Benton County E-911 Administration.

The project is scheduled to appear before the Planning Board for Technical Advisory Committee on September 18th, 2019.

TECHNICAL REVIEW OF SITE PLAN

Parcel Information:

Site inspection and research against State assessment records show the property as an unimproved County parcel.

Noticing Requirements:

On September 11th, 2019, the applicant submitted USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the October 2nd Public Hearing.

On September 13th, 2019, the applicant submitted the required photographs verifying that the required public hearing notice signage along the property's frontage has been conspicuously posted on site.

Standard Building Setbacks:

Required: Fifty (50) feet measured from the center line of the fronting road (Coppermine Road) or twenty-five (25) feet from the fronting property lines, whichever is greater is required; A side and rear yard, building to property line setback of ten (10) feet is required.

Comments: The submitted site plans detail the proposed dwelling and detached garage 35-ft. from road centerline in lieu of the required 50-ft. and the detached garage 2.5-ft. from eastern side yard property line in lieu of the required 10-ft.

Access Driveways/Internal Circulation:

Required: The design and construction shall be in accordance with the standards as presented in the Benton County Road Plan.

Comment: The site fronts along a County maintained roadway. The applicant proposes to utilize an access drive from the public right-of-way, Coppermine Road. The property owner shall obtain proper permitting for any activity or additional access drives connecting to the County right of way.

Site Services - Drainage/ Stormwater Management Plan:

Required: Applicant is required to indicate on plan storm drainage infrastructure and to provide an off-site drainage study. If study indicates an increase in peak flow discharge downstream, the developer shall construct a detention facility or an alternative LID methodology that shall control the peak runoff rate. The County also recommends minimizing impervious surface to limit the need for such facilities.

Comment: The subject property is not located in an urbanized MS4 stormwater area.

Site Services – Septic System:

Required: Regardless of development size, a state-approved septic disposal method is required of all commercial and industrial developments. All disposal system criteria must meet or exceed septic requirements as established by the Arkansas Department of Health (ADH) in accordance with Act 402 of 1977 as amended.

Comment: The proposed dwelling and/or detached garage shall be connected to a State approved wastewater system. The property owner shall submit the State approved permit prior to issuance of the building permit.

OUTSTANDING ITEMS: None

Prepared by: Taylor Reamer – Planning Director

Reviewed by: Tracy Backs – County Planner



Map data ©2019 20 ft
33 ft from Center of Road

DESCRIPTION OF SUBJECT PROPERTY

a. Property Address (If none currently, contact 911 Administration): _____

18700 Coppermine Rd., Rogers, AR 72756

b. Assessor's Parcel Number (s): 15-01719-000

c. Parcel Size/Area: 0.29 Acres

d. Existing Land Use: Vacant Lot/Storage for RV

e. Water, Sanitary Sewage and Storm Drainage: (check all that apply)

Water, indicate the source of water on site:

Public / Semi-Public Private / Semi-Private well

Sanitary, indicate the type of sewage disposal facility:

Publicly owned and operated sanitary sewage system

Privately owned and operated individual septic system

Other (Describe) Currently no septic system in place.

Have you received approval from the Arkansas Department of Health?

Yes No Future Approval Date No date yet. Currently working with them.

Storm Drainage, indicate how storm drainage will be provided on site: (10, Appendix D)

Ditches

Swales

Retention pond

Detention pond

Bio-retention pond

Low-Impact Development options (see Benton County Regulations, Appendix B)

Other (Describe) 15 inch Culvert

f. Proposed development and variance required: in your own words, briefly specify the provision of the regulations where relief is sought and a justification for the request.

We are seeking a variance to build a garage/storage building within 10 ft of the side boundary and within 50 ft of the center of the road. We seek this variance due to about 1/3 or more of our property is un-buildable because of steepness. Our plan is to build a small house in the center of the buildable land in the future. Because of a 15 inch culvert drainage pipe on the westside of the property that only leaves us a buildable spot for the garage/storage building on the southeast part of the property.

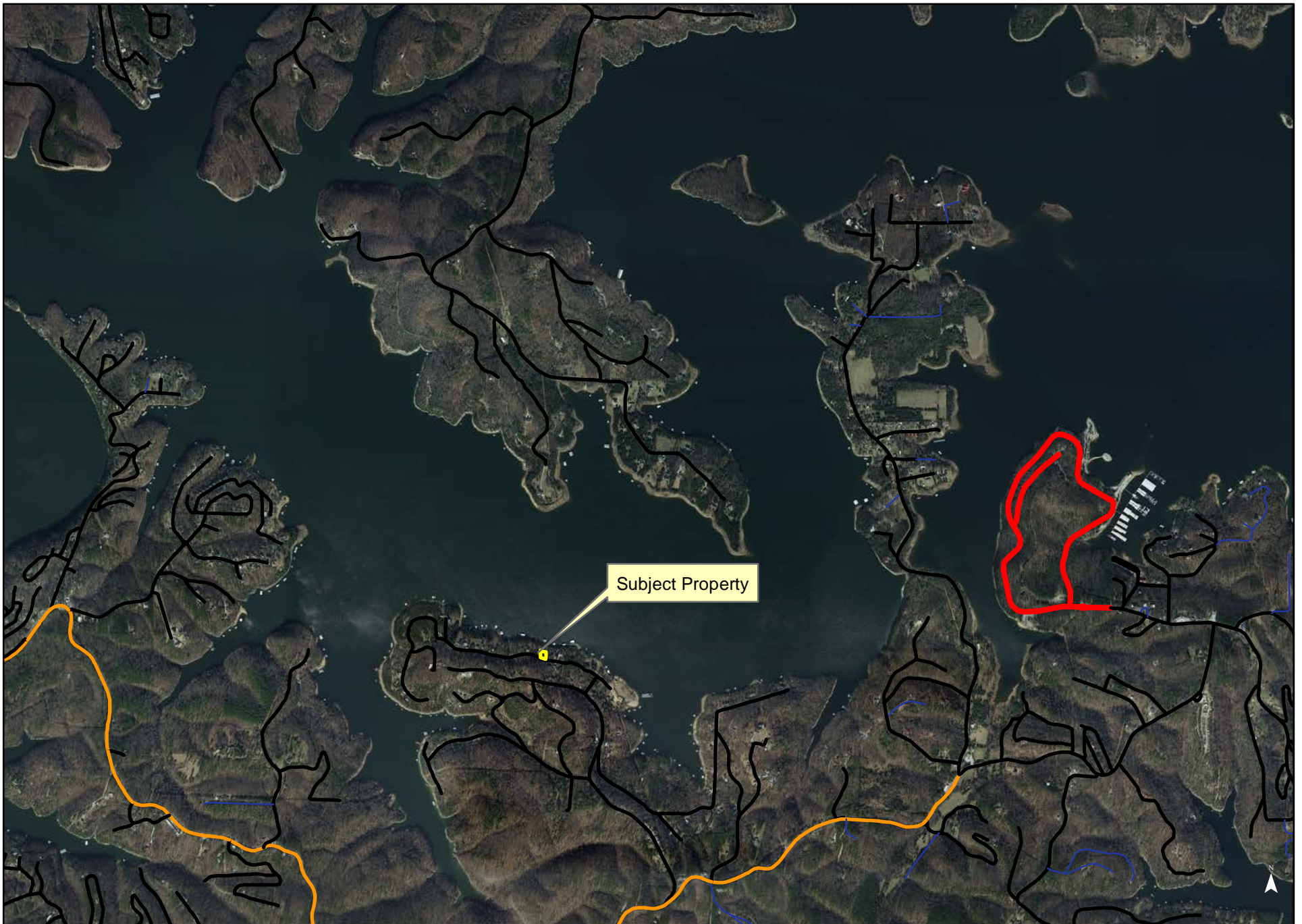
Owner / Applicant

Date

Steinbronner Variance

Vicinity Aerial

18700 Coppermine Road



Subject Property

Steinbronner Variance

Aerial

18700 Coppermine Road



Steinbronner Variance

2012 - Aerial

18700 Coppermine Road

